

MICHAEL DRISCOLL SCHOOL

Brookline, MA



OPM Monthly Project Update Report

May 2022

FS	SD	DD	CD	BIDDING	CONSTRUCTION	CLOSEOUT	SITE
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During the month of May, the following progress was made on site:

Area C:

- Floor slabs on Levels 1 and 2 were poured.
- High footings/foundation poured along line C25
- Steel erection and detailing was completed with the exception of the C25 area.
- LGMF layout and installation of exterior clips has begun at Level 1.

Area A:

- Mechanical mezzanine steel was set, and slab was poured.
- AHU's were placed on the mechanical mezzanine.
- The majority of the underground plumbing and major electrical conduit was installed and inspected. Crushed stone was placed and graded.

Core AB:

- Walls were placed up to level 4.

Core B:

- The mat slab was formed and rebar installed.

Site:

- 90% of the geopiers were installed.
- Backfilling and compaction around the building perimeter is largely in place.
- Temporary water service at Washington St was relocated and placed in a manhole.
- 65% of the ductbank from the building to Westbourne St was installed.

The Project Team has continued to send out weekly communications via the project website with notification going out to all subscribed to project updates.

I. TASKS COMPLETED THROUGH MAY 2022

The following meetings and milestones were completed in the month of May 2022:

05/02/22	Weekly Change Review Meeting
05/03/22	Envelope Review Meeting
05/03/22	Monthly Report provided to Town
05/05/22	OAC Meeting
05/06/22	SBAC Meeting
05/09/22	Weekly Change Review Meeting

05/10/22	Envelope Review Meeting
05/10/22	May Building Commission Meeting
05/12/22	OAC Meeting
05/13/22	SBAC Co-chairs Meeting
05/17/22	Envelope Review Meeting
05/19/22	OAC Meeting
05/23/22	Weekly Change Review Meeting
05/24/22	Envelope Review Meeting
05/26/22	OAC Meeting

XVIII. TASKS PLANNED FOR JUNE 2022

The following tasks are planned for the month of June 2022:

- 06/02/22 OAC Meeting
- 06/06/22 Weekly Change Review Meeting
- 06/07/22 Monthly Report provided to Town
- 06/09/22 OAC Meeting
- 06/10/22 Envelope Review Meeting
- 06/13/22 Weekly Change Review Meeting
- 06/14/22 Envelope Review Meeting
- 06/14/22 June Building Commission Meeting
- 06/16/22 OAC Meeting
- 06/20/22 Weekly Change Review Meeting
- 06/21/22 Envelope Review Meeting
- 06/23/22 OAC Meeting
- 06/27/22 Weekly Change Review Meeting
- 06/28/22 Envelope Review Meeting
- 06/30/22 OAC Meeting

XIX. PROJECT BUDGET OVERVIEW

Expenditures against the budget totaled \$2,476,003.27 this month, which consisted of OPM, Designer, A/E Consultants, Testing & Inspections, and CM Construction and Change Order costs.

The attached Budget Report incorporates CM Change Order No. 12 for \$20,782.00. The Change Order will be presented at the June 14, 2022 Building Commission Meeting for approval but has been included in the budget to represent the impact to the Total Project

Budget of the change. Refer to Section VI – Contract Amendments/Budget Transfers for an explanation of Change Order No. 12.

Refer to the attached Total Project Budget Status Report and Cash Flow Charts, dated May 31, 2022.

XX. PROJECT SCHEDULE OVERVIEW

During the month of May, the following progress was made on site:

Area C:

- Floor slabs on Levels 1 and 2 were poured.
- High footings/foundation poured along line C25
- Steel erection and detailing was completed with the exception of the C25 area.
- LGMF layout and installation of exterior clips has begun at Level 1.

Area A:

- Mechanical mezzanine steel was set, and slab was poured.
- AHU's were placed on the mechanical mezzanine.
- The majority of the underground plumbing and major electrical conduit was installed and inspected. Crushed stone was placed and graded.

Core AB:

- Walls were placed up to level 4.

Core B:

- The mat slab was formed and rebar installed.

Site:

- 90% of the geopiers were installed.
- Backfilling and compaction around the building perimeter is largely in place.
- Temporary water service at Washington St was relocated and placed in a manhole.
- 65% of the ductbank from the building to Westbourne St was installed.

Schedule:

- Steel in Area C finished 2 days early.
- Steel in Area A is scheduled to begin 2 weeks late due to the geopier schedule.
- Concrete in Area B was scheduled to begin May 1 and began on June 1.

- Overall we are still projecting steel to finish on time; there was a planned hiatus in steel erection that has been eliminated and we expect steel installation to be continuous once it re-starts on June 13th in Area A.

XXI. CONTRACT AMENDMENTS/BUDGET TRANSFERS

Change Order No. 11 for \$14,287.00 was approved at the May 10, 2022 Building Commission Meeting.

Construction Change Order No. 12 for \$20,782.00 will be presented for approval at the June 14, 2022 Building Commission Meeting. CM Change Order No. 12 consists of twelve ATPs: ATP 56 - Switch to Medeco Cylinder Cores per TOB; ATP 058 – Hardware Revisions; ATP 059R1 – Structural Shop Drawing Changes; ATP 063 – Floor Drain at Custodian Workshop; ATP 067 – Stair 7 Openings at North Shear Wall; ATP 068 - Cafeteria and Project Area Clarifications; ATP 071 - Gym Mural Modifications; ATP 073 - Elevator Structure Clarifications; ATP 075R1 - Header Beam at NE Areaway Louver Openings; ATP 076 - Locker Rooms Clarification; ATP 077 - Wall Bracing; and ATP 078 - Premium Time for Concrete. Refer to the Attached ATP/Change Order Log, dated May 31, 2022, for an explanation of the ATPs and the associated costs.

A Budget Transfer from the Construction Contingency Budget of \$20,782.00 to the CM Change Order Budget is required to fund CM Change Order No. 12. The transfer is noted on the Total Project Budget attached.

XXII. COMMUNITY OUTREACH

Information about Public Meetings is constantly being updated on the Project Website, as well as through emails to school parents. The public is encouraged to submit all questions and concerns via the Project Website. Responses to all submitted questions and concerns are provided and posted to the website as well.

The Project Team has continued to send out weekly communications via the project website with notification going out to all subscribed to project updates. Please see attached weekly reports send during the month of April.

XXIII. ISSUES THAT COULD POTENTIALLY RESULT IN ADDITIONAL TIME/COST

No issues at this time.

XXIV. CONTRACTOR'S SAFETY PERFORMANCE AND MANPOWER

Safety Orientations and Inspections: Safety orientations have been completed for all onsite personnel to date. Weekly inspections are done by the General Contractor as well as the on-site trades.

Accidents/Incidents: There were no incidents this month.

Man-hours: There were 7,321 on-site man hours worked over 23 total workdays (2 Saturdays) which represents an average of 39.8 workers on site daily. Manhours to date total is 44,507 manhours.

NOTE: This report includes trade workers only, it does not include Construction Managers, Safety Personnel, Delivery/Unload only Personnel, Project Superintendents or General Superintendents.

XXV. DESIGNER QA/QC

Jonathan Levi Architects (JLA) reviews submittals and RFIs as they are submitted. They and their engineering consultants perform periodic onsite field observations and issue Field Observation Reports. JLA orchestrates the onsite field visits and observations of their consultants to coordinate effectively with the construction activities and with review of the CM's Pencil Applications for Payment. JLA attends all project and construction meetings.

RFIs Issued to Date:	461	RFI Responses to Date:	436
Submittals Issued to Date:	830	Submittal Responses to Date:	747

XXVI. ATTACHMENTS

Monthly Invoice Summary, dated May 31, 2022
Gilbane Owner Change Order #12, dated June 14, 2022
Change Order Log, dated May 31, 2022
Total Project Budget Status Report, dated May 31, 2022
Monthly and Cumulative Cash Flow Reports, dated May 31, 2022
CM Budget Tracking Log, dated May 31, 2022
CM Amendment Status Log, dated May 31, 2022
Designer Amendment Status Log, dated May 31, 2022
OPM Amendment Status Log, dated May 31, 2022
Gilbane Monthly Report, dated May 31, 2022
Leftfield Weekly Updates, May 2022
Leftfield Daily Reports, May 2022
Leftfield Memo Re: Terrazzo Tile, dated June 7, 2022
Leftfield Memo Re: Rain Garden, dated June 7, 2022

MEMORANDUM

To: Brookline Building Commission
 From: Lynn Stapleton, LeftField, LLC
 Date: June 14, 2022
 Re: Michael Driscoll School –May 2022 Invoice Summary
 Cc: Jim Rogers, Jennifer Carlson, LeftField, LLC

Enclosed for approval and processing, please find the following invoices:

INVOICES					
Invoice Date	Vendor	Invoice #	Budget Category	Description of Services	Invoice \$
05/31/22	LeftField, LLC	29	OPM – Construction Administration	Construction Administration Services: May 1 – May 31, 2022	\$52,342.00
05/31/22	Jonathan Levi Architects	1823-00-32	A/E – Construction Administration	Construction Administration Services: May 1 – May 31, 2022	\$86,571.07
05/31/22 (05/04/22)	Jonathan Levi Architects	1823-00-32	Utilities & Utility Company Fees	Flow Test - GGD (Amendment #6)	\$1,375.00
				Jonathan Levi Architects Invoice 1823-00-32 Total: (For Reference)	\$87,946.07
04/29/22	UTS	99525	Testing & Inspections	Concrete Testing & Reinforcing Inspections	\$6,308.76
5/27/22	UTS	99955	Testing & Inspections	Concrete Testing & Reinforcing Inspections	\$7,909.38
05/31/22	Gilbane	AFP 25	Construction	CM Fee	\$59,196.38
05/31/22	Gilbane	AFP 25	Construction	Insurances & Bonds	\$58,862.27
05/31/22	Gilbane	AFP 25	Construction	Owner Allowances	\$18,571.32
05/31/22	Gilbane	AFP 25	Construction	Division 1 - General Conditions	\$172,298.64
05/31/22	Gilbane	AFP 25	Construction	Division 1 - General Requirements	(\$2,153.32)
05/31/22	Gilbane	AFP 25	Construction	Division 3 - Concrete	\$574,863.38
05/31/22	Gilbane	AFP 25	Construction	Division 5 – Structural Steel	\$469,567.80

05/31/22	Gilbane	AFP 25	Construction	Division 7 – Thermal & Moisture Protection	\$144,611.40
05/31/22	Gilbane	AFP 25	Construction	Division 8 – Openings	\$155,354.23
05/31/22	Gilbane	AFP 25	Construction	Division 9 - Finishes	\$425.00
05/31/22	Gilbane	AFP 25	Construction	Division 21 – Fire Protection	\$15,750.00
05/31/22	Gilbane	AFP 25	Construction	Division 22 – Plumbing	\$68,410.00
05/31/22	Gilbane	AFP 25	Construction	Division 23 - HVAC	\$33,920.00
05/31/22	Gilbane	AFP 25	Construction	Division 26 - Electrical	\$151,900.00
05/31/22	Gilbane	AFP 25	Construction	Division 31 - Sitework	\$444,618.00
05/31/22	Gilbane	AFP 25	Change Orders	Change Order No. 6	\$42,179.80
05/31/22	Gilbane	AFP 25	Change Orders	Change Order No. 9	\$20,024.29
05/31/22	Gilbane	AFP 25	Construction	Retainage Held	(\$106,902.13)
				Gilbane Application for Payment 25- May 2022 Total: (For Reference)	\$2,321,497.06
				TOTAL:	\$2,476,003.27

The invoices listed above are consistent with the approved Total Project Budget. LeftField, LLC recommends that the invoices be approved and paid. All invoices above are included in the May 2022 Project Budget Report.

If you have any questions, please feel free to contact the Lynn Stapleton, Owner's Project Manager, LeftField, LLC.

MICHAEL DRISCOLL SCHOOL - Brookline, MA May 31, 2022

K-8 New Construction Potential Change Order - Change Order Log

Legend table with columns: APP = Approved, P-Rev = Pending Review, WDN = Withdrawn, REJ = Rejected, P S = Pending COR Submission, EST = Estimated \$

Legend table with columns: UC = Unforeseen Condition, CD = CD Clarification/Change for Constructability, E/O = Errors & Omissions, OSC = Owner Scope Change, AHJ = Authority Having Jurisdiction, GMP CONT = GMP Contingency Use

Main data table with columns: DATE, DIRECTIVE, ATP #, CODE, DESCRIPTION, ESTIMATED \$, CSI Code, STATUS, APPROVED \$, CO #, GMP Hold/Allowance, GMP CONT, CO #01 to CO #12, CHANGE ORDER DISTRIBUTION BY REASON (AHJ, CD, E/O, OSC, UC), Notes

MICHAEL DRISCOLL SCHOOL - Brookline, MA May 31, 2022

K-8 New Construction
Potential Change Order - Change Order Log

APP = Approved	P-Rev = Pending Review	WDN = Withdrawn
REJ = Rejected	P S = Pending COR Submission	EST = Estimated \$

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OSC = Owner Scope Change	AHJ = Authority Having Jurisdiction	GMP CONT = GMP Contingency Use

DATE	DIRECTIVE	ATP #	CODE	DESCRIPTION	ESTIMATED \$	CSI Code	STATUS	APPROVED \$	CO #	TOTAL CHANGE ORDERS												CHANGE ORDER DISTRIBUTION BY REASON					Notes								
										GMP Hold/ Allowance	GMP CONT	CO #01	CO #02	CO #03	CO #04	CO #05	CO #06	CO #07	CO #08	CO #09	CO #10	CO #11	CO #12	AHJ	CD	E/O		OSC	UC						
19-Jan-22	ASI #021	032	CD	Typical Slab Edge at Brick Support	\$ 576.00	05 00 00	APP	\$ 576.00	CO #08			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Price increase due to time required to redraft and relocate elevation of relieving angle resulting from directive provided in ASI #21.
19-Jan-22	ASI #020	033	E/O	Matt Slab Reinforcement	\$ 11,389.00	03 00 00	APP	\$ 11,389.00	CO #08			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Cost to connect mat slab to the elevator walls and foundation walls by drilling and doweling. Details not provided on drawings.	
19-Jan-22	ASI #011R	034	CD	Credit for Typical Roof Edge Blocking Revisions	\$ (8,628.00)	05 00 00 07 00 00 09 00 00	APP	\$ (8,628.00)	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Credit for revision of typical roof edge blocking detail and steel plate support details including clarification to relieving angle dimensions.	
25-Jan-22	PR #007	035	CD	Credit to Delete Booster Pump	\$ (15,465.00)	22 00 00	APP	\$ (15,465.00)	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Based on hydrant flow test, domestic water booster pump is not needed and is to be replaced by PRV stations per SK AP 1.16.	
25-Jan-22	PR #012	036	CD	Credit for EWH-1 Electrical Modifications	\$ (1,368.00)	26 00 00	APP	\$ (1,368.00)	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	During submittal review, a reduction in feeder size to unit EWH-1 from a 110amp feed to a 50amp feed was made. The feed is run under the slab from the main electrical room to the basement mechanical room.	
26-Jan-22	ASI #015	037	CD	RTU/AHU Dehumidification Sequence Revision	\$ -	23 00 00	APP	\$ -	CO #08			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Due to the spacing of the heating and cooling coils being such that there is no space for a cooling coil discharge air temperature sensor, revision of the dehumidification sequences was required to accommodate the condition.	
27-Jan-22		038	CD	Credit for Hollow Metal Doors & Frames	\$ (5,000.00)	08 00 00	APP	\$ (5,000.00)	CO #08			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Substitution requested by the Doors, Frames & Hardware Subcontractor for a credit because they could not get the specified supplier to hold pricing.	
28-Mar-22	ASI #10	039	E/O	Shaft Wall Enclosures above Ceilings and Revisions at RTU-5	\$ 17,929.00	09 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Cost to install 2hr fire-rated shaft wall enclosures above ceilings from walk-in cooler, IDF Room, Custodian Storage and Toilet Room includes revisions to RTU 5 shaft not previously shown.	
03-Feb-22	ASI #9	040	CD	Fire Protection Clarifications and Revisions	\$ 4,249.00	21 00 00	APP	\$ 4,249.00	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Costs to re-orient FDC connection in Gym from east to north wall, relocate exposed 4" SPR riser in Gym to concealed area, relocate Fire Department Valve Cabinets to accommodate depth of cabinet, and change sprinkler type and locations in FabLab and Makerspace resulting from coordination with submittals and FP clarifications.	
03-Feb-22	ASI #023R	041	CD	Adjustments for Embeds for Relieving Angles at Area C	\$ 2,957.00	03 00 00 05 00 00	APP	\$ 2,957.00	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Adjustments to the embeds and relieving angle locations at Area C, Stair 7 shear walls after bid which required drafting and coordination changes for fabrication and sequencing purposes.	
03-Feb-22	ASI #025	042	CD	Edge of Slab Clarifications at Corner Window Bays	\$ 1,117.00	05 00 00	APP	\$ 1,117.00	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Revision to the edge of slab at the outside edge of 14 corner bay windows to be parallel to brick. The change resulted in location and elevational modifications to the embeds and relieving angles.	
04-Feb-22	PR #008	043R1	CD	Power and Data Outlet Modifications (\$11,234.00)	\$ (10,739.00)	26 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Credit for removing 3 floor box electrical devices, for deleting 17 data drops in Rooms 4810, 4820, 4830 and for removing 4 additional data drops in Science Room 4810. There were several no cost changes to relocate electrical devices and to adjust device heights.	
04-Feb-22	P 3004 & PR #011	044R1	OSC	EV Charging Station Circuitry	\$ 99,663.00	26 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Cost for providing 2 additional EV charging stations to service 2 vehicles each. This addition provides a total of 3 EV parking stations to service 6 vehicles to meet the Town Warrant requirements.	
21-Mar-22	RFI #202	045	E/O	EPO to Boilers and DHW in Mechanical Room	\$ 5,718.00	26 00 00	APP	\$ 5,718.00	CO #10			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Cost to provide Emergency Power Off (EPO) switches at the exit to the Mechanical Room and run underground conduit to two electric boilers due to safety relief valve capacity greater than 200,000 BTU/hr and to one electric hot water heater. EPOs are required but not shown on the contract drawings.	
07-Feb-22	PR #003/003R	046R1	OSC	Reduce Depth of Geothermal Wells	\$ (191,050.00)	03 00 00 05 00 00 07 00 00 22 00 00 23 00 00 26 00 00	APP	\$ (191,050.00)	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	After final engineering, it was determined that the geothermal wells could be reduced by 120 feet each. Cost reduction is per unit prices and incorporates the cost of the associated modifications related to the reduction in well depth.
07-Feb-22	PR #016	047	GMP CONT	Provision of 120-Minute Fire-Rated Glazing at Door Sidelights at Stairwells	\$ 64,249.00	08 00 00	APP	\$ -	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	During buyout discussions, it was understood by Salem and confirmed by Gilbane that they could use 60-Minute fire-rated glass in the sidelights of the stairwell doors. This was not the architect's intent nor does it meet code. Gilbane agrees that Salem is justified in having understood they could make this change and it was qualified in their cost proposal. The glass thickness and framing system for the door and sidelights must be increased to accommodate 120-minute fire-rated glazing at the 2-hour fire-rated stairs.
16-Feb-22	RFI #047	048	CD	Basement Dryer Vent Revisions	\$ 7,078.00	22 00 00 26 00 00	APP	\$ 7,078.00	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	HVAC costs associated with re-routing 4" dia. aluminum duct for dryer vent to avoid passing through fire-rated partitions and adding a dryer vent booster fan inline of the 4" dryer exhaust duct.
15-Feb-22	RFI #6.1 RFI #6.3 RFI #6.7	049	CD	Rebar Revisions	\$ 12,424.00	03 00 00	APP	\$ 12,424.00	CO #09			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Revisions were made during Shop Drawing review to the rebar reinforcing configuration for Shear Wall AB. The changes were required to increase box-out and sleeve opening sizes in the shear wall which resulted in rebar changes that ultimately added rebar.
01-Mar-22	ASI #29	050	CD	Perforated Metal Panel Change at Roof and Loading Dock	\$ -	07 00 00	APP	\$ -	CO #10			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	During review of submittals, JLA rejected the metal panel product submitted and provided an ASI to revise the perforation size and spacing. This resulted in a no cost change.	
07-Mar-22		051	CD	Walk-In Cooler Size Change	\$ 10,695.00	11 00 00	APP	\$ 10,695.00	CO #10			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	The approved steel design could not accommodate the specified walk-in cooler size which was identified during shop drawings review. This resulted in a change in cooler size.
15-Mar-22	PR 17R	052	CD	Revise Operable Window Vents	\$ 40,374.00	08 00 00	APP	\$ 40,374.00	CO #10			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	During VE, all operable window vents were bought as Type K; however during shop drawing review due to Kawneer's tested size limitations, all operable vents had to be changed to Type UT. JLA is recommending upgrading to the manufacturer's "UT" window vent as it has better thermal performance characteristics and the exposed exterior window caps are aluminum as opposed to PVC that is used for the "K" window vent (contract vent). The "UT" window vent represents an improved design that is better integrated into the overall glazing system which was specified for its higher-performance characteristics over standard storefront systems.
17-Mar-22		053	GMP CONT	Concrete PT	\$ -	03 00 00	APP	\$ -	CO #10			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Premium Time only request to accelerate concrete formwork to keep ahead of the critical path.
22-Mar-22	PR 15 RFI #195	054	CD	Telecommunications Utility Pole	\$ 742.00	26 00 00	APP	\$ 742.00	CO #11			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	The cost is to furnish and install a 40-foot utility pole for telecommunications connections. Due to the change in location of the utility pole, a credit has been provided for shorter runs of PVC piping and duct which have offset the cost of the utility pole.
22-Mar-22	RFI #250	055	E/O	Revise Roof Drain Schedule	\$ 3,053.00	22 00 00	APP	\$ 3,053.00	CO #10			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Additional material costs for changing 2 Drain Type H (flat drains intended for foot travel) at main roof to Drain Type C (domed roof drains for debris prevention) and changing 2 Drain Type C (domed drains) at roof playground to Drain Type G (flat drains intended for foot travel).
22-Mar-22	ASI #33	056	OSC	Switch to Medeco Cylinder Cores per TOB	\$ (22,908.00)	08 71 00	APP	\$ (22,908.00)	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Medeco x4 Small Format IC cores were specified as a proprietary product in the specifications but was not provided in the submittal and needed to be revised. The revision resulted in a credit to the project.
22-Mar-22	RFI #277	057	E/O	Top of Wall C Foundation Clarification at C21.6 T&M NTE	\$ 25,966.74	03 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Clarifications made in response to RFI regarding top of wall at foundation walls - C which resulted in changes to labor and material costs. Recommend proceeding at T&M NTE presented cost. Missing information.
23-Mar-22	RFI #239	058	E/O	Hardware Revisions	\$ 27,818.00	08 71 00	APP	\$ 27,818.00	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	An error in the specifications called for mullions and locking to mullions at double egress doors. A change was provided at submittal review which eliminated the mullions and included vertical rod panic hardware at the double egress doors.

MICHAEL DRISCOLL SCHOOL - Brookline, MA

May 31, 2022

K-8 New Construction

Potential Change Order - Change Order Log

APP = Approved	P-Rev = Pending Review	WDN = Withdrawn
REJ = Rejected	P S = Pending COR Submission	EST = Estimated \$

UC = Unforeseen Condition	CD = CD Clarification/Change for Constructability	E/O = Errors & Omissions
OSC = Owner Scope Change	AHJ = Authority Having Jurisdiction	GMP CONT = GMP Contingency Use

DATE	DIRECTIVE	ATP #	CODE	DESCRIPTION	ESTIMATED \$	CSI Code	STATUS	APPROVED \$	CO #	TOTAL CHANGE ORDERS												CHANGE ORDER DISTRIBUTION BY REASON					Notes										
										GMP Hold/ Allowance	GMP CONT	CO #01	CO #02	CO #03	CO #04	CO #05	CO #06	CO #07	CO #08	CO #09	CO #10	CO #11	CO #12	AHJ	CD	E/O		OSC	UC								
24-Mar-22		059R1	CD	Structural Shop Drawing Changes	\$ 5,524.00	05 00 00	APP	\$ 4,287.00	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Redrafting and re-engineering based on changes to 8 sequences of shop drawings based on changes made during shop drawing review. 37 piece changes and coordination.
25-Mar-22		060	GMP CONT	Concrete PT	\$ -	03 00 00	APP	\$ -	CO #10		\$ 21,270.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Premium Time only request to accelerate concrete formwork to keep ahead of the critical path.	
26-Mar-22	RFI #243	061	CD	Suspended Slab Adjacent to Core AB Mat Slab	\$ 17,037.00	03 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Additional cost to place formed slab out of sequence, tie in later to remainder of slab and backfill to facilitate steel erection and coordinate with steel and new HVAC opening locations.		
28-Mar-22		062	E/O	Acoustical Glass	\$ 14,485.00	08 00 00	APP	\$ 14,485.00	CO #11			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Cost for providing 65 panes of laminated acoustical glass for the exterior walls of the Band/Chorus Room and the Multi-purpose Room. There was a tempered, low E glass with security film originally specified for these panes.	
01-Apr-22	PR #14	063	OSC	Floor Drain at Custodian Workshop	\$ 5,209.00	03 00 00 22 00 00	APP	\$ 3,124.00	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	TOB requested floor drain added to the Custodian Workshop 0220.	
04-Apr-22	PR #19	064	CD	Revisions to Ductless Cooling Units Connections	\$ -	23 00 00 26 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	No cost change to eliminate interior feed to cooling units and feed from exterior rooftop Condenser Unit.	
04-Apr-22	ASI #18	065	E/O	Power Connection for Cabinet Unit Heater	\$ -	26 00 00	APP	\$ -	CO #11			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	No cost change to provide power connection to CUH-21 not shown on the Electrical Schedule of Mechanical Equipment.	
14-Apr-22	PR #13	066	OSC	Gym Equipment - Change in Telescoping Bleachers Controls	\$ (940.00)	09 00 00 11 00 00	APP	\$ (940.00)	CO #11			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Credit to provide manual controls in lieu of motorized controls for the telescoping bleachers.	
14-Apr-22	ASI #22	067	CD	Stair 7 Openings at North Shear Wall	\$ 2,248.00	03 00 00	APP	\$ 2,248.00	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Coordination/clarification of door and wall opening dimensions in North Shear Wall at Stair 7 during submittal review.	
28-Apr-22	ASI #17	068	CD	Cafeteria and Project Area Clarifications	\$ -	05 00 00 07 00 00 08 00 00 09 00 00	APP	\$ (13,236.00)	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Various clarifications and coordination revisions to exterior wall openings, column and window sill enclosures to accommodate mechanical piping in the Cafeteria, Project Areas and Collaborative Spaces. Credit is to eliminate a pair of storefront doors.
24-May-22	RFI #292	069	CD	Loading Dock Column and Footing Detail	\$ 14,627.00	31 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Overexcavate and place lean concrete pier beneath F66 footing to top of CD wall footing below and glacial till for support. No ground improvements indicated in this area for support. Requires ductbank to be offset at wall.	
01-Jun-22	PR #22	070	CD	Service Area Ramp	\$ 12,244.00	05 00 00 09 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Provide light-gauge framing and drywall kneewall under the service area ramp and provide single railings and closure plate on top of channel framing. Ramp is to be increased in width and eliminate decorative guardrail.	
24-May-22	RFI #249	071	CD	Gym Mural Modifications	\$ -	10 00 00	APP	\$ -	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Actual size of mural was greater than the dimensions of the space provided for its location in the gym. The mural is to be trimmed to fit the opening size provided.	
24-May-22	PR #20	072		Delete Storage Room in Guidance Waiting	\$ (4,606.00)	08 00 00 09 00 00 10 00 00						\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Credit for deleting walls, door, frame and hardware associated with deleting Storage Room 2620 including deletion of the following: 30LF of ceiling wall angle; interior painting of deleted walls; and signage.	
25-May-22	ASI #12	073	CD	Elevator Structure Clarifications	\$ 17,747.00	03 00 00 05 00 00 09 00 00 14 00 00	APP	\$ 17,747.00	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Enlarge opening at Level 0 elevator shearwall for installation of elevator and then infill to required door opening size. Locate the HSS rails and raise height of the Elevator opening at the roof.
31-May-22	RFI #333	075R1	E/O	Header Beam at NE Atrium Louver Openings	\$ 888.00	03 00 00	APP	\$ 1,702.00	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	The Louver Shop Drawings required a rough opening height of 13'-4" but the approved Rebar Shop Drawings had a height of 13'-0". Corrective measures were required to the already installed header beam rebar. Remedy was to cut the top off of the rebar cage and stall u-bars with full lap to close off top of cage as approved by Structural Engineer.
31-May-22	ASI #36	076	CD	Locker Rooms Clarification	\$ -	09 00 00 10 00 00	APP	\$ -	CO #12			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Minimal adjustments in Locker Rooms 0820 and 0830 to the wall location dimensions surrounding the metal lockers required to ensure the lockers fit.
01-Jun-22		077	GMP CONT	Wall Bracing	\$ -		APP	\$ -	CO #12		\$ 120,663.40	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Cost to design and install the temporary wall braces to support wall at AG-2/AF9 and ramp to allow for areas to be backfilled ahead of structural steel erection. This allows for steel in Building A to be erected in a continuous mobilization. Only includes GPE/Supermetal costs and does not include JDC and Marguerite.
02-Jun-22		078	GMP CONT	Premium Time for Concrete	\$ -	03 00 00	APP	\$ -	CO #12		\$ 19,029.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	Premium Time for Concrete for 4/16; 4/23; 4/30; 5/7; & 4/14/22 to accelerate concrete to keep ahead of critical path.

\$ 5,108,791.74
Estimated

\$ 4,696,347.00
Approved

\$ -	\$ 382,398.12	\$ -	\$ 5,339.00	(\$50,000.00)	\$4,700,307.00	\$5,508.00	\$87,492.00	\$6,841.00	\$21,549.00	\$ (175,598.00)	\$59,840.00	\$14,287.00	\$20,782.00
GMP	GMP Contingency	CO #01	CO #02	CO #03	CO #04	CO #05	CO #06	CO #07	CO #08	CO #09	CO #10	CO #11	CO #12
Approved Use of Holds & Allowances	Approved use of GMP Contingency	CO TOTAL:											
\$94,298,030.00		\$4,696,347.00											

\$1,287.00	\$68,054.00	\$105,971.00	\$4,434,033.00	\$87,002.00
AHJ	CD	E/O	OSC	UC
0.001%	0.07%	0.11%	4.70%	0.09%

CO TOTAL BY DISTRIBUTION: \$4,696,347.00

Total Project Budget Status Report

Description	Total Project Budget	Authorized Changes	Revised Total Budget	Total Committed	% Cmtd to Date	Actual Spent to Date	% Spent to Date	Balance To Spend	Comments
FEASIBILITY STUDY AGREEMENT									
OPM Schematic Design	\$ 34,015		\$ 34,015	\$ 34,015	100%	\$ 34,015	100%	\$ -	
A/E Schematic Design	\$ 1,179,260	\$ 500	\$ 1,179,760	\$ 1,179,760	100%	\$ 1,179,760	100%	\$ -	
TOTAL SD	\$ 1,213,275	\$ 500	\$ 1,213,775	\$ 1,213,775	100%	\$ 1,213,775	100%	\$ -	
ADMINISTRATION									
Legal Fees	\$ 106,563	\$ (50,000)	\$ 56,563	\$ -	0%	\$ -	0%	\$ 56,563	*17
Owner's Project Manager	\$ 3,182,090	\$ 109,871	\$ 3,291,961	\$ 3,291,961	100%	\$ 1,980,905	60%	\$ 1,311,056	
Design Development	\$ 429,575		\$ 429,575	\$ 429,575	100%	\$ 429,575	100%	\$ -	
Construction Documents	\$ 524,441		\$ 524,441	\$ 524,441	100%	\$ 524,441	100%	\$ -	
Bidding	\$ 188,436		\$ 188,436	\$ 188,436	100%	\$ 188,436	100%	\$ -	
Construction Administration	\$ 1,989,628		\$ 1,989,628	\$ 1,989,628	100%	\$ 733,422	37%	\$ 1,256,206	
Closeout	\$ 50,010		\$ 50,010	\$ 50,010	100%	\$ -	0%	\$ 50,010	
Extra Services	\$ -		\$ -	\$ -		\$ -		\$ -	
Reimbursable Services	\$ -	\$ 66,971	\$ 66,971	\$ 66,971	100%	\$ 62,131	93%	\$ 4,840	*5, 10, 15, 18
Cost Estimates	\$ -	\$ 42,900	\$ 42,900	\$ 42,900	100%	\$ 42,900	100%	\$ -	*6
Advertising & Printing	\$ 31,969	\$ (25,941)	\$ 6,028	\$ 589	10%	\$ 589	10%	\$ 5,439	*18
TOB Project Management Services	\$ 576,500	\$ (426,500)	\$ 150,000	\$ -	0%	\$ -	0%	\$ 150,000	*17
PSB Project Management Services	\$ 225,000	\$ (75,000)	\$ 150,000	\$ -	0%	\$ -	0%	\$ 150,000	*17
Owner's Insurance	\$ -	\$ -	\$ -	\$ -		\$ -		\$ -	
Other Administrative Costs	\$ -		\$ -	\$ -		\$ -		\$ -	
SUB-TOTAL	\$ 4,122,122	\$ (467,570)	\$ 3,654,552	\$ 3,292,550	90%	\$ 1,981,494	54%	\$ 1,673,058	
A&E									
A/E Basic Services	\$ 7,259,063	\$ -	\$ 7,259,063	\$ 7,259,063	100%	\$ 5,684,308	78%	\$ 1,574,755	
Design Development	\$ 1,814,766		\$ 1,814,766	\$ 1,814,766	100%	\$ 1,814,766	100%	\$ -	
Construction Documents	\$ 2,540,672		\$ 2,540,672	\$ 2,540,672	100%	\$ 2,540,672	100%	\$ -	
Bidding	\$ 290,363		\$ 290,363	\$ 290,363	100%	\$ 290,363	100%	\$ -	
Construction Administration	\$ 2,540,672		\$ 2,540,672	\$ 2,540,672	100%	\$ 1,038,507	41%	\$ 1,502,165	
Closeout	\$ 72,590		\$ 72,590	\$ 72,590	100%	\$ -	0%	\$ 72,590	
Other Basic Services	\$ -		\$ -	\$ -		\$ -		\$ -	
Extra/Reimbursable Services	\$ 500,000	\$ 597,570	\$ 1,097,570	\$ 1,092,070	99%	\$ 802,161	73%	\$ 295,408	
Other Reimbursables	\$ 500,000	\$ (180,961)	\$ 319,039	\$ 313,539	98%	\$ 216,645	68%	\$ 102,394	*1,2,3,13,19,24,27
HazMat (incl. monitoring)	\$ -	\$ 138,512	\$ 138,512	\$ 138,512	100%	\$ 34,067	25%	\$ 104,445	*2
Geotechnical/Geo-Environmental	\$ -	\$ 635,745	\$ 635,745	\$ 635,745	100%	\$ 547,176	86%	\$ 88,569	*3,4,8,9,12,20,23,31,33
Site Survey & Site Requirements	\$ -	\$ 4,274	\$ 4,274	\$ 4,274	100%	\$ 4,274	100%	\$ -	*7, 29
Wetlands	\$ -		\$ -	\$ -		\$ -		\$ -	
Traffic Studies	\$ -		\$ -	\$ -		\$ -		\$ -	
SUB-TOTAL	\$ 7,759,063	\$ 597,570	\$ 8,356,633	\$ 8,351,133	100%	\$ 6,486,469	78%	\$ 1,870,164	

Total Project Budget Status Report

Description	Total Project Budget	Authorized Changes	Revised Total Budget	Total Committed	% Cmtd to Date	Actual Spent to Date	% Spent to Date	Balance To Spend	Comments
PRE CONSTRUCTION COSTS									
CMR Pre-Con Services	\$ 319,688	\$ 155,009	\$ 474,697	\$ 474,697	100%	\$ 474,697	100%	\$ -	*11, 14
SUB-TOTAL	\$ 319,688	\$ 155,009	\$ 474,697	\$ 474,697	100%	\$ 474,697	100%	\$ -	
CONSTRUCTION COSTS									
Construction Budget	\$ 92,909,563	\$ 913,770	\$ 93,823,333	\$ 93,823,333	100%	\$ 19,526,115	21%	\$ 74,297,218	*1, 11, 14, 17
Change Orders	\$ -	\$ 4,696,347	\$ 4,696,347	\$ 4,696,347	100%	\$ 99,515	2%	\$ 4,596,832	*21,22,26,28,30,32,34,35,36,38
SUB-TOTAL	\$ 92,909,563	\$ 5,610,117	\$ 98,519,680	\$ 98,519,680	100%	\$ 19,625,630	20%	\$ 78,894,050	
OTHER PROJECT COSTS									
Construction Contingency	\$ 4,645,478	\$ 203,653	\$ 4,849,131	\$ -	0%	\$ -	0%	\$ 4,849,131	*21,22,25,25,26,28,30,32,34,35,36,38
Miscellaneous Project Costs	\$ 569,893	\$ (170,918)	\$ 398,975	\$ 293,020	73%	\$ 100,451	25%	\$ 298,524	
Utilities & Utility Company Fees	\$ 106,563	\$ (85,000)	\$ 21,563	\$ 14,910	69%	\$ 14,910	69%	\$ 6,653	*16
Testing & Inspection Services	\$ 127,875	\$ -	\$ 127,875	\$ 127,875	100%	\$ 49,491	39%	\$ 78,384	*37
Commissioning	\$ 132,896	\$ 20,735	\$ 153,631	\$ 150,235	98%	\$ 36,050	23%	\$ 117,581	
Security	\$ 106,653	\$ (106,653)	\$ -	\$ -	0%	\$ -	0%	\$ -	*16
Moving	\$ 95,906	\$ -	\$ 95,906	\$ -	0%	\$ -	0%	\$ 95,906	
Other Project Costs	\$ -	\$ -	\$ -	\$ -	-	\$ -	-	\$ -	
Furnishings and Equipment	\$ 2,774,400	\$ 241,392	\$ 3,015,792	\$ -	0%	\$ -	0%	\$ 3,015,792	
Furnishings	\$ 1,654,400	\$ -	\$ 1,654,400	\$ -	0%	\$ -	0%	\$ 1,654,400	
Technology Equipment	\$ 1,120,000	\$ 241,392	\$ 1,361,392	\$ -	0%	\$ -	0%	\$ 1,361,392	*16
Owner's Contingency	\$ 2,199,793	\$ (1,269,253)	\$ 930,540	\$ -	0%	\$ -	0%	\$ 930,540	*1,4,5,6,7,8,9,10,12,13,15,16,17,18,19,20,23,24,27,29,31,33,37
SUB-TOTAL	\$ 10,189,564	\$ (995,126)	\$ 9,194,438	\$ 293,020	3%	\$ 100,451	1%	\$ 9,093,987	
TOTAL DD-CLO	\$ 115,300,000	\$ 4,900,000	\$ 120,200,000	\$ 110,931,079	92%	\$ 28,668,740	24%	\$ 91,531,260	*25
TOTAL PROJECT BUDGET	\$ 116,513,275	\$ 4,900,500	\$ 121,413,775	\$ 112,144,854	92%	\$ 29,882,515	25%	\$ 91,531,260	
CONSTRUCTION COST ESTIMATES									
	Date	Estimator	Amount	SF	Cost Per SF				
SD Cost Estimate	4/26/2019	Daedalus	\$ 87,200,254.00	155,632	\$560.30				
Re-Start Cost Estimate	01/14/20	PM&C	\$ 93,335,813.00	155,632	\$599.72				
50% DD Cost Estimate	05/19/20	Gilbane	\$ 95,978,500.00	155,632	\$616.70				
100% DD Cost Estimate	07/20/20	Gilbane	\$ 94,466,766.00	157,950	\$598.08				
GMP	05/26/21	Gilbane	\$ 93,823,333.00	157,950	\$594.01				

Total Project Budget Status Report

Description	Total Project Budget	Authorized Changes	Revised Total Budget	Total Committed	% Cmtd to Date	Actual Spent to Date	% Spent to Date	Balance To Spend	Comments
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Budget Transfers:

01	3/18/2020	Transfer \$117,673.00 from the Construction Budget to A/E Other Reimbursables Budget to cover the costs of furnishing and installing a geothermal test well. Transfer \$5,500 from Owner's Contingency to A/E Other Reimbursables Budget for baseline sound monitoring. (Designer Contract Amendment #3)							
02	4/7/2020	Transfer \$138,512.00 from the A/E Other Reimbursables Budget to the A/E HAZMAT Budget to cover the costs of HAZMAT, testing, reporting and monitoring. (Designer Contract Amendment #4)							
03	4/7/2020	Transfer \$340,725.00 from the A/E Other Reimbursables Budget to the A/E Geo-environmental & Geotechnical Budget to cover the costs of Geotechnical Consulting for \$189,475, Geo-environmental Consulting for \$134,200.00 and additional supplemental subsurface exploratory services for \$17,050.00. (Designer Contract Amendment #5)							
04	6/9/2020	Transfer \$15,263.00 from the A/E Other Reimbursables Budget and \$34,787.00 from Owner's Contingency for a total of \$50,050.00 to the A/E Geo-Environmental & Geotechnical Budget to fund the supplemental Geotechnical borings and Geo-environmental soils sampling/characterization for the drain line relocation path. (Designer Contract Amendment #7)							
05	7/8/2020	Transfer \$27,500.00 from Owner's Contingency to Owner Project Manager's Reimbursable Services for the Construction Markey Study. (OPM Contract Amendment #3)							
06	7/8/2020	Transfer \$42,900.00 from the Owner's Contingency to the Cost Estimates Budget to fund the 3rd cost estimate for the 100% Design Development documents. (OPM Contract Amendment #4)							
07	8/11/2020	Transfer \$2,750.00 from the Owner's Contingency to the A/E Site Survey Budget to fund the the survey of the property line and building corners at alley. (Designer Contract Amendment #8)							
08	8/24/2020	Transfer \$42,900.00 from the Owner's Contingency to the A/E Geotechnical/Geo-environmental Budget to fund the testing of groundwater and preparing RNF. (Designer Contract Amendment #9)							
09	10/13/2020	Transfer \$19,800.00 from the Owner's Contingency to the A/E Geotechnical/Geo-environmental Budget to fund the additional subsurface exploration for MCP compliance. (Designer Contract Amendment #10)							
10	12/8/2020	Transfer \$11,770.00 from the Owner's Contingency to the OPM Reimbursable Services for the Third Party Structural Engineering Review for \$3,960 and the Fire Protection/Life Safety Review Services for \$7,810. (OPM Contract Amendment #5)							
11	2/9/2021	Transfer \$108,342.00 from the Construction Budget to the Preconstruction to supplement Precon Budget to cover the extended timeframe for Precon services totaling \$140,000.00. (CM Contract Amendment #3)							
12	3/9/2021	Transfer \$13,200.00 from the Owners Contingency to A/E Geotechnical/Geo-environmental Budget to fund rock probes for additional subsurface explorations to determine extent of bedrock. (A/E Contract Amendment #11)							
13	04/13/21	Transfer \$1,320.00 From Owner's Contingency to A/E Other Reimbursable Expenses to fund Building Height Survey Certification. (A/E Contract Amendment #12)							
14	05/11/21	Transfer \$46,667.00 from Construction Budget to the Preconstruction Budget to supplement the Preconstruction Budget due to extended timeframe for re-bid. (CM Contract Amendment #4)							
15	05/11/21	Transfer \$1,210.00 From Owner's Contingency to A/E Other Reimbursable Expenses to fund third-party Fire Protection/Life Safety review services for the revised Contract Documents. (OPM Contract Amendment #6)							
16	05/11/21	Transfer \$85,000 from Utilities, \$106,653 from Security and \$49,739 from Owner's Contingency to cover the additional \$241,392 of scope included in the Technology Budget.							

Total Project Budget Status Report

Description	Total Project Budget	Authorized Changes	Revised Total Budget	Total Committed	% Cmtd to Date	Actual Spent to Date	% Spent to Date	Balance To Spend	Comments
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Budget Transfers (continued):

17	05/11/21	Transfer \$50,000 from Legal, \$426,500 from TOB Management, \$75,000 from PSB Management and \$634,952 from Owner's Contingency to the Construction Budget to total the increase of \$1,186,452 for the GMP.							
18	07/13/21	Transfer \$550.00 from Owner's Contingency to OPM Reimbursable Services to fund for additional Life Safety/Fire Protection Review Services resulting from GGD Meeting (OPM Contract Amendment No. 7) and transfer \$25,940.92 from Advertising & Printing to OPM Reimbursable Services for online bid services and printing. (OPM Contract Amendment No. 8)							
19	09/14/21	Transfer \$2,090.00 from Owner's Contingency to A/E Other Reimbursable Expenses to fund Solar Study for PV-powered Traffic Signal. (A/E Contract Amendment #13)							
20	09/14/21	Transfer \$19,800.00 from Owner's Contingency to A/E Geotechnical/Geo-environmental to fund Supplemental Geo-Environmental Engineering Services. (A/E Contract Amendment #14)							
21	09/14/21	Transfer \$5,339.00 From Construction Contingency to CM Change Orders to fund Change Order No. 2. Change Order No. 1 is for \$0 (Change Order #2)							
22	10/12/21	Transfer (\$50,000.00) from CM Change Orders to Construction Contingency as a credit for Change Order No. 3. (Change Order #3)							
23	10/12/21	Transfer \$48,400.00 from Owner's Contingency to A/E Geotechnical/Geo-environmental to fund Supplemental Geo-Environmental Engineering Services. (A/E Contract Amendment #15)							
24	10/12/21	Transfer \$79,244 from Owner's Contingency to A/E Other Reimbursable Services to fund services associated with adding back the Geothermal System. (A/E Contract Amendment #16)							
25	10/12/21	Increase the Project Budget by \$4,900,000 as appropriated at Town Meeting and place in Construction Contingency budget line.							
26	10/12/21	Transfer \$4,700,307 from Construction Contingency to CM Change Orders to fund Change Order No. 4 to install the Geothermal System. (Change Order #4)							
27	11/09/21	Transfer \$107,712 from Owner's Contingency to A/E Other Reimbursable Expenses for Vibration Monitoring Services. (A/E Contract Amendment #17)							
28	11/09/21	Transfer \$5,508.00 from Construction Contingency to CM Change Orders to fund Change Order No. 5. (Change Order #5)							
29	12/14/21	Transfer \$1,523.78 from Owner's Contingency to A/E Site Survey & Site Requirements to fund additional survey required in the alleyway to determine the ROW property line (A/E Contract Amendment #18)							
30	12/14/21	Transfer \$87,492.00 from Construction Contingency to CM Change Orders to fund Change Order No. 6. (Change Order #6)							
31	12/14/21	Transfer \$26,070 from Owner's Contingency to A/E Geotechnical/Geo-environmental for construction monitoring and soils testing (A/E Contract Amendment #19).							
32	01/11/22	Transfer \$6,841.00 from Construction Contingency to CM Change Orders to fund Change Order No. 7. (Change Order #7)							
33	2/8/2022	Transfer \$74,800 from Owner's Contingency to A/E Geotechnical/Geo-environmental for additional construction monitoring and soils testing (A/E Contract Amendment #20).							
34	2/8/2022	Transfer \$21,649.00 from Construction Contingency to CM Change Orders to fund Change Order No. 8. (Change Order #8)							
35	3/8/2022	Transfer \$175,598.00 from CM Change Orders to Construction Contingency for credit of Change Order No. 9. (Change Order #9)							
36	4/12/2022	Transfer \$59,840 from Construction Contingency to CM Change Orders to fund Change Order No. 10 (Change Order #10)							
37	4/12/2022	Transfer \$20,735 from Owner's Contingency to Commissioning Budget to fund monitoring and testing of windows, roofs and facades. (Cx Contract Amendment #1)							
38	5/10/2022	Transfer \$14,287 from Construction Contingency to to CM Change Orders to fund Change Order No. 11 (Change Order #11)							

Total Project Budget Status Report

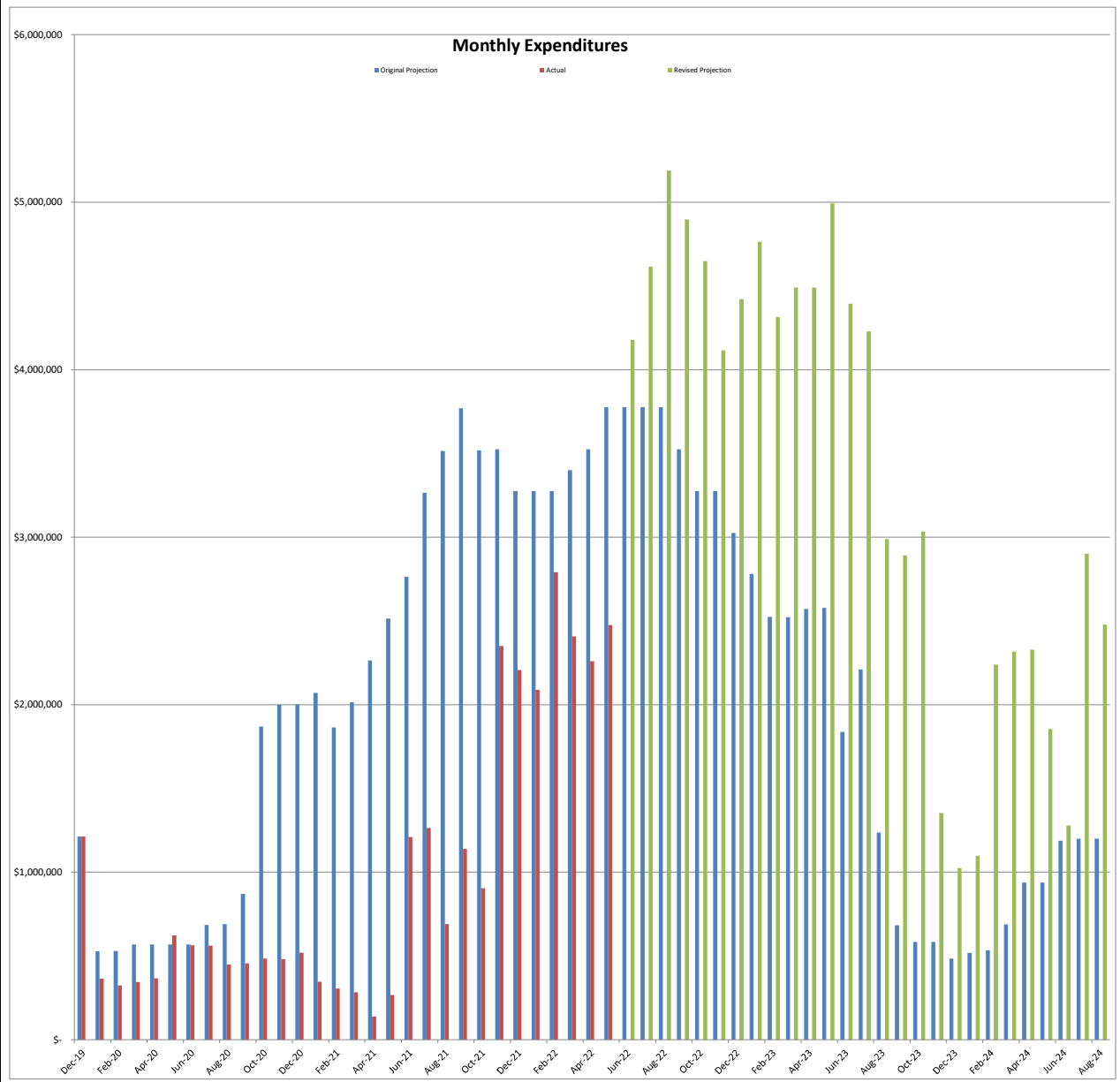
Description	Total Project Budget	Authorized Changes	Revised Total Budget	Total Committed	% Cmtd to Date	Actual Spent to Date	% Spent to Date	Balance To Spend	Comments
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Budget Transfers (continued):

39	6/14/2022	Transfer \$20,782.00 from Construction Contingency to to CM Change Orders to fund Change Order No. 12 (Change Order #12)							
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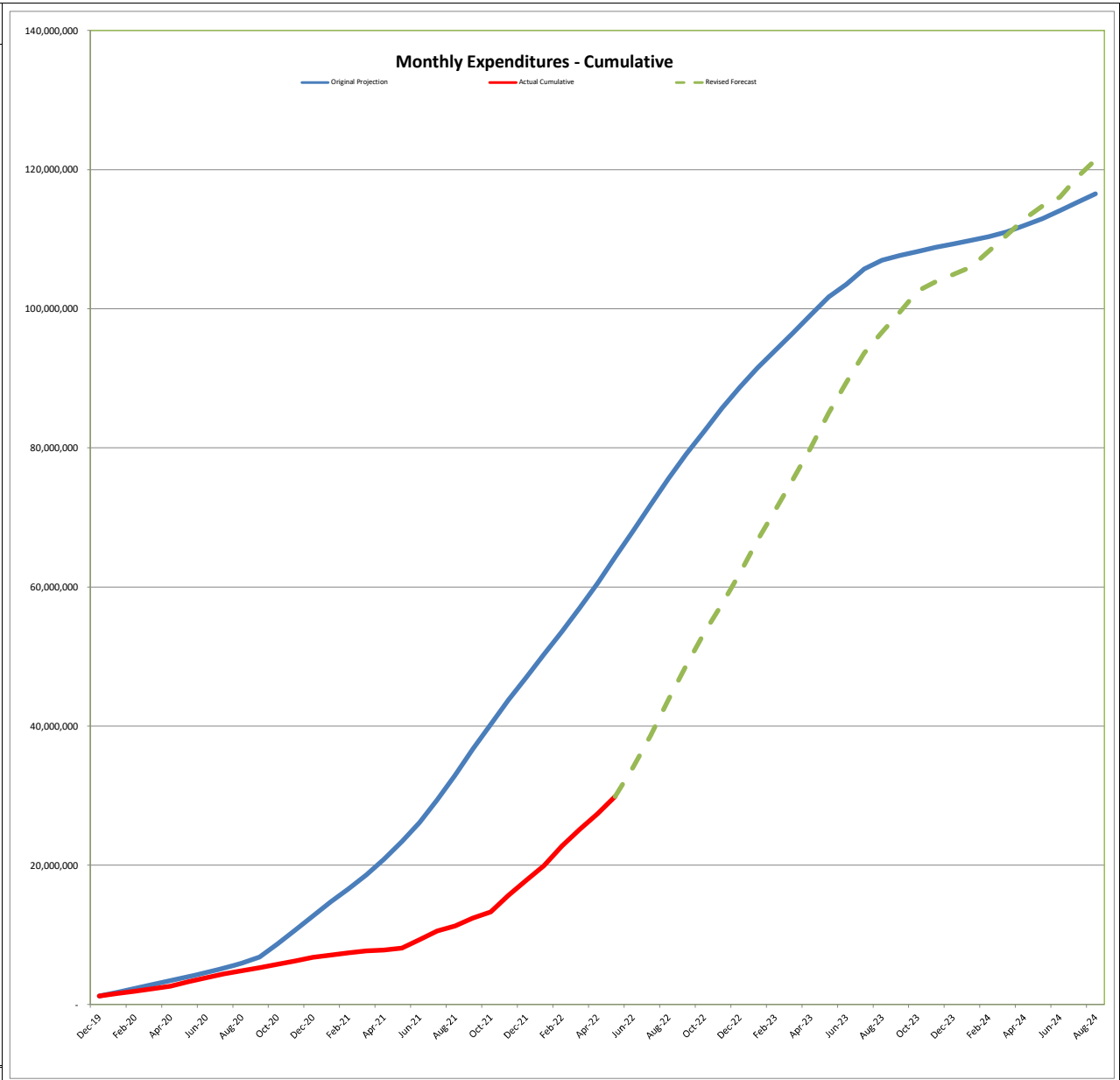
Monthly Cash Flow

Date	Original Projection	Actual	Revised Projection
Dec-19	\$ 1,213,275	\$ 1,213,775	
Jan-20	\$ 528,447	\$ 365,265	
Feb-20	\$ 529,416	\$ 324,147	
Mar-20	\$ 568,318	\$ 343,753	
Apr-20	\$ 568,318	\$ 365,930	
May-20	\$ 568,318	\$ 623,383	
Jun-20	\$ 568,317	\$ 563,890	
Jul-20	\$ 685,612	\$ 561,501	
Aug-20	\$ 690,612	\$ 448,501	
Sep-20	\$ 871,490	\$ 455,715	
Oct-20	\$ 1,870,408	\$ 483,927	
Nov-20	\$ 1,999,151	\$ 481,714	
Dec-20	\$ 2,001,151	\$ 519,219	
Jan-21	\$ 2,071,151	\$ 346,641	
Feb-21	\$ 1,864,245	\$ 304,621	
Mar-21	\$ 2,014,797	\$ 283,445	
Apr-21	\$ 2,264,797	\$ 138,248	
May-21	\$ 2,514,797	\$ 267,260	
Jun-21	\$ 2,764,797	\$ 1,210,019	
Jul-21	\$ 3,264,797	\$ 1,264,753	
Aug-21	\$ 3,515,850	\$ 690,467	
Sep-21	\$ 3,769,197	\$ 1,139,761	
Oct-21	\$ 3,519,197	\$ 905,214	
Nov-21	\$ 3,525,837	\$ 2,351,485	
Dec-21	\$ 3,275,837	\$ 2,206,793	
Jan-22	\$ 3,275,837	\$ 2,089,139	
Feb-22	\$ 3,275,837	\$ 2,791,018	
Mar-22	\$ 3,400,837	\$ 2,407,831	
Apr-22	\$ 3,525,837	\$ 2,259,097	
May-22	\$ 3,775,837	\$ 2,476,003	
Jun-22	\$ 3,775,837	\$ 4,177,924	
Jul-22	\$ 3,775,837	\$ 4,614,469	
Aug-22	\$ 3,775,837	\$ 5,189,608	
Sep-22	\$ 3,525,837	\$ 4,896,650	
Oct-22	\$ 3,275,837	\$ 4,649,587	
Nov-22	\$ 3,275,837	\$ 4,115,882	
Dec-22	\$ 3,025,837	\$ 4,421,717	
Jan-23	\$ 2,780,837	\$ 4,763,493	
Feb-23	\$ 2,524,512	\$ 4,314,310	
Mar-23	\$ 2,522,037	\$ 4,490,360	
Apr-23	\$ 2,572,037	\$ 4,491,172	
May-23	\$ 2,578,600	\$ 4,993,019	
Jun-23	\$ 1,837,433	\$ 4,395,065	
Jul-23	\$ 2,210,615	\$ 4,228,932	
Aug-23	\$ 1,236,456	\$ 2,988,620	
Sep-23	\$ 683,797	\$ 2,890,333	
Oct-23	\$ 583,797	\$ 3,033,362	
Nov-23	\$ 583,797	\$ 1,353,208	
Dec-23	\$ 483,797	\$ 1,023,577	
Jan-24	\$ 518,360	\$ 1,099,113	
Feb-24	\$ 533,797	\$ 2,239,616	
Mar-24	\$ 687,648	\$ 2,317,416	
Apr-24	\$ 937,597	\$ 2,328,822	
May-24	\$ 937,597	\$ 1,855,259	
Jun-24	\$ 1,187,597	\$ 1,279,670	
Jul-24	\$ 1,200,297	\$ 2,900,682	
Aug-24	\$ 1,199,491	\$ 2,479,394	
Total:	\$ 116,513,275	\$ 29,882,515	\$ 91,531,260



Cumulative Cash Flow

Date	Original Projection	Actual Cumulative	Revised Forecast
Dec-19	1,213,275	\$ 1,213,775	
Jan-20	1,741,722	\$ 1,579,040	
Feb-20	2,271,138	\$ 1,903,187	
Mar-20	2,839,456	\$ 2,246,940	
Apr-20	3,407,774	\$ 2,612,870	
May-20	3,976,092	\$ 3,236,253	
Jun-20	4,544,409	\$ 3,800,143	
Jul-20	5,230,021	\$ 4,361,645	
Aug-20	5,920,633	\$ 4,810,146	
Sep-20	6,792,123	\$ 5,265,861	
Oct-20	8,662,531	\$ 5,749,788	
Nov-20	10,661,682	\$ 6,231,502	
Dec-20	12,662,833	\$ 6,750,721	
Jan-21	14,733,984	\$ 7,097,362	
Feb-21	16,598,229	\$ 7,401,983	
Mar-21	18,613,026	\$ 7,685,428	
Apr-21	20,877,823	\$ 7,823,676	
May-21	23,392,620	\$ 8,090,935	
Jun-21	26,157,417	\$ 9,300,955	
Jul-21	29,422,214	\$ 10,565,708	
Aug-21	32,938,064	\$ 11,256,175	
Sep-21	36,707,261	\$ 12,395,936	
Oct-21	40,226,458	\$ 13,301,149	
Nov-21	43,752,295	\$ 15,652,634	
Dec-21	47,028,132	\$ 17,859,427	
Jan-22	50,303,969	\$ 19,948,566	
Feb-22	53,579,806	\$ 22,739,585	
Mar-22	56,980,643	\$ 25,147,416	
Apr-22	60,506,480	\$ 27,406,512	
May-22	64,282,317	\$ 29,882,515	\$ 29,882,515
Jun-22	68,058,154		\$ 34,060,439
Jul-22	71,833,991		\$ 38,674,908
Aug-22	75,609,828		\$ 43,864,517
Sep-22	79,135,665		\$ 48,761,166
Oct-22	82,411,502		\$ 53,410,753
Nov-22	85,687,339		\$ 57,526,636
Dec-22	88,713,176		\$ 61,948,353
Jan-23	91,494,013		\$ 66,711,845
Feb-23	94,018,525		\$ 71,026,155
Mar-23	96,540,562		\$ 75,516,515
Apr-23	99,112,599		\$ 80,007,687
May-23	101,691,199		\$ 85,000,706
Jun-23	103,528,632		\$ 89,395,771
Jul-23	105,739,247		\$ 93,624,703
Aug-23	106,975,703		\$ 96,613,323
Sep-23	107,659,500		\$ 99,503,656
Oct-23	108,243,297		\$ 102,537,018
Nov-23	108,827,094		\$ 103,890,226
Dec-23	109,310,891		\$ 104,913,803
Jan-24	109,829,251		\$ 106,012,916
Feb-24	110,363,048		\$ 108,252,532
Mar-24	111,050,696		\$ 110,569,948
Apr-24	111,988,293		\$ 112,898,770
May-24	112,925,890		\$ 114,754,029
Jun-24	114,113,487		\$ 116,033,699
Jul-24	115,313,784		\$ 118,934,381
Aug-24	116,513,275		\$ 121,413,775
Total:	\$ 116,513,275	\$ 29,882,515	\$ 121,413,775



Log of Amendments - CM

Amendment #			Approved Amount	Vendor	Proposal Date	Code	Description	Amount Paid	Balance	% of Contract Amount Complete
Base			\$ 180,000.00	Gilbane Base Contract	05/08/20	CMPC	Preconstruction Services	\$ 180,000.00	\$ -	100%
	Total Base	\$ 180,000.00		Invoices PC-1 thru PC-8						
01			\$ 67,500.00	GBC: Invoices PC-9 thru PC-11	11/10/20	CMPC	Extended Preconstruction Services - GBC	\$ 67,500.00	\$ -	100%
01			\$ 13,125.00	GBC: Invoice PC-12		CMPC	Construction Management Plan - Vanasse (VAI)	\$ 13,125.00	\$ -	100%
01			\$ 20,055.00	GBC: Invoice PC-12		CMPC	Existing Conditions Property Surveys - Foley	\$ 20,055.00	\$ -	100%
	Total 01:	\$ 100,680.00								
02			\$ 7,350.00	GBC: Invoice PC-12	1/12/2021	CMPC	Revisions to Construction Management Plan - VAI	\$ 7,350.00		100%
	Total 02:	\$ 7,350.00								
03			\$ 140,000.00	GBC: Invoices PC-12 thru PC-13	2/9/2021	CMPC	Extended Preconstruction Services - GBC	\$ 140,000.00	\$ -	100%
	Total 03:	\$140,000.00								
04			\$ 46,667.00	GBC: Invoice PC-13	5/11/2021	CMPC	Extended Preconstruction Services - GB	\$ 46,667.00	\$ -	100%
	Total 04:	\$46,667.00								
05			\$93,823,333.00	GBC: GMP		CMCON	Construction Costs	\$ 19,526,114.84	\$ 74,297,218.16	21%
	Total 05:	\$93,823,333.00								
CO 2			\$5,339.00	Change Order No. 2	9/14/2021	CMCO	Change Orders		\$ 5,339.00	0%
	Total CO 2:	\$5,339.00								
CO 3			(\$50,000.00)	Change Order No. 3	10/12/2021	CMCO	Change Orders		\$ (50,000.00)	0%
	Total CO 3:	(\$50,000.00)								
CO 4			\$4,700,307.00	Change Order No. 4	10/12/2021	CMCO	Change Orders	8,360.00	\$ 4,691,947.00	0%
	Total CO 4:	\$4,700,307.00								
CO 5			\$5,508.00	Change Order No. 5	11/9/2021	CMCO	Change Orders	4,818.40	\$ 689.60	87%
	Total CO 5:	\$5,508.00								
CO 6			\$87,492.00	Change Order No. 6	12/14/2021	CMCO	Change Orders	55,757.78	\$ 31,734.22	64%
	Total CO 6:	\$87,492.00								
CO 7			\$6,841.00	Change Order No. 7	1/11/2022	CMCO	Change Orders	(3,849.40)	\$ 10,690.40	-56%
	Total CO 7:	\$6,841.00								
CO 8			\$21,549.00	Change Order No. 8	2/8/2022	CMCO	Change Orders	9,843.90	\$ 11,705.10	46%
	Total CO 8:	\$21,549.00								
CO 9			(\$175,598.00)	Change Order No. 9	3/8/2022	CMCO	Change Orders	24,584.57	\$ (200,182.57)	-14%
	Total CO 9:	(\$175,598.00)								
CO 10			\$59,840.00	Change Order No. 10	4/12/2022	CMCO	Change Orders		\$ 59,840.00	0%
	Total CO 10:	\$59,840.00								
CO 11			\$14,287.00	Change Order No. 11	5/10/2022	CMCO	Change Orders		\$ 14,287.00	0%
	Total CO11:	\$14,287.00								
CO 12			\$20,782.00	Change Order No. 12	4/12/2022	CMCO	Change Orders		\$ 20,782.00	0%
	Total CO 12:	\$20,782.00								
TOTAL:		\$ 98,994,377.00	\$ 98,994,377.00					\$ 20,100,327.09	\$ 78,894,049.91	20.30%

Log of Amendments - A/E

Amendment #		Approved Amount	Vendor	Proposal Date	Code	Description	Amount Paid	Balance	% of Contract Amount Complete
Base		\$ 1,179,260.00	JLA Base Contract		AFSSD	Schematic Design	\$ 1,179,260.00	\$ -	100%
	Total Base	\$ 1,179,260.00							
02		\$ 500.00		01/17/20	AFSSD	Schematic Design	\$ 500.00	\$ -	100%
02		\$ 1,814,766.00			ADD	Design Development	\$ 1,814,766.00	\$ -	100%
02		\$ 2,540,672.00			ACD	Construction Documents	\$ 2,540,672.00	\$ -	100%
02		\$ 290,363.00			ABID	Bidding	\$ 290,363.00	\$ -	100%
02		\$ 2,540,672.00			ACA	Construction Administration	\$ 1,038,507	\$ 1,502,165.42	41%
02		\$ 72,590.00			ACLO	Closeout	\$ -	\$ 72,590.00	0%
	Total 02:	\$ 7,259,563.00							
03		\$ 117,673.00	JLA - McPhail	3/18/2020	ARE	Task A - Geothermal Test Well	\$ 117,673.00	\$ -	100%
03		\$ 5,500.00	JLA - Acentech		ARE	Baseline Site Sound Level	\$ 5,500.00	\$ -	100%
	Total 03:	\$ 123,173.00							
04		\$ 138,512.00	JLA- CDW	3/18/2020	AHM	HAZMAT Consulting	\$ 34,067.00	\$ 104,445.00	25%
	Total 04:	\$138,512.00							
05		\$ 340,725.00	JLA - McPhail	3/26/2020	AGEO	Geotechnical & Geo-environmental Consulting	\$ 340,726.00	\$ (1.00)	100%
	Total 05:	\$340,725.00							
06		\$ 1,375.00	JLA-GGD	5/12/2020	UTL	Hydrant Flow Test	\$ 1,375.00	\$ -	100%
	Total 06:	\$1,375.00							
07		\$ 50,050.00	JLA - McPhail	6/9/2020	AGEO	Geotechnical & Geo-environmental Consulting	\$ 50,050.00	\$ -	100%
	Total 07:	\$ 50,050.00							
08		\$ 2,750.00	JLA - Hancock	7/11/2020	ASUR	Surveying Alley and Corners of Proposed School	\$ 2,750.00	\$ -	100%
	Total 08:	\$ 2,750.00							
09		\$ 42,900.00	JLA - McPhail	8/11/2020	AGEO	Supplemental Geotechnical & Geo-environmental Consulting	\$ 27,115.00	\$ 15,785.00	63%
	Total 09:	\$ 42,900.00							
10		\$ 19,800.00	JLA - McPhail	10/13/2020	AGEO	Supplemental Geotechnical & Geo-environmental Consulting	\$ 19,800.00	\$ -	100%
	Total 10:	\$ 19,800.00							
11		\$ 13,200.00	JLA - McPhail	3/9/2021	AGEO	Supplemental Geotechnical & Geo-environmental Consulting	\$ 13,200.00	\$ -	100%
	Total 11:	\$ 13,200.00							

Log of Amendments - A/E

Amendment #			Approved Amount	Vendor	Proposal Date	Code	Description	Amount Paid	Balance	% of Contract Amount Complete
12			\$ 1,320.00	JLA - Hancock	4/13/2021	ARE	Building Height Certification	\$ 1,320.00	\$ -	100%
Total 12:		\$ 1,320.00								
13			\$ 2,090.00	JLA - Ocean State Signal	9/14/2021	ARE	Study for PV-Powered Traffic Sign	\$ 2,090.00	\$ -	100%
Total 13:		\$ 2,090.00								
14			\$ 19,800.00	JLA - McPhail	9/14/2021	AGEO	Supplemental Geo-environmental Consulting	\$ 19,800.00	\$ -	100%
Total 14:		\$ 19,800.00								
15			\$ 48,400.00	JLA - McPhail	10/12/2021	AGEO	Supplemental Geo-environmental Consulting	\$ 25,652.00	\$ 22,748.00	53%
Total 15:		\$ 48,400.00								
16			\$ 19,800.00	JLA - GGD	10/12/2021	ARE	HVAC, Electrical & Modeling Update for Geothermal System	\$ 15,950.00	\$ 3,850.00	81%
			\$ 53,944.00	JLA - McPhail		ARE	Geothermal Engineering & Construction Administration	\$ 33,132.00	\$ 20,812.00	61%
			\$ 5,500.00	JLA		ARE	Architectural Revisions & Coordination		\$ 5,500.00	0%
Total 16:		\$ 79,244.00								
17			\$ 107,712.00	JLA - McPhail	11/9/2021	ARE	Vibration Monitoring	\$ 60,317.86	\$ 47,394.14	56%
Total 17:		\$ 107,712.00								
18			\$ 1,523.78	JLA - Hancock	12/14/2021	ASUR	Additional Survey Bounds/Markings in Alleyway	\$ 1,523.78	\$ -	100%
Total 18:		\$ 1,523.78								
19			\$ 26,070.00	JLA - McPhail	12/14/2021	AGEO	Construction Monitoring & Soils Testing	\$ 15,396.15	\$ 10,673.85	59%
Total 19:		\$ 26,070.00								
20			\$ 74,800.00	JLA - McPhail	3/8/2022	AGEO	Additional Construction Monitoring & Soils Testing	\$ 32,048.50	\$ 42,751.50	43%
Total 20:		\$ 74,800.00								
TOTAL:		\$ 9,532,267.78	\$ 9,532,267.78					\$ 7,683,553.87	\$ 1,848,713.91	81%

Log of Amendments - OPM

Amendment #			Approved Amount	Vendor	Proposal Date	Code	Description	Amount Paid	Balance	% of Contract Amount Complete
Base			\$ 34,015.00	Leftfield Base Contract		OPMFSSD	Schematic Design	\$ 34,015.00	\$ -	100%
	Total Base	\$ 34,015.00								
01			\$ 429,575.00	Leftfield	01/30/20	OPMDD	Design Development	\$ 429,575.00	\$ -	100%
01			\$ 524,441.00			OPMCD	Construction Documents	\$ 524,441.00	\$ -	100%
01			\$ 188,436.00			OPMBID	Bidding	\$ 188,436.00	\$ -	100%
01			\$ 1,989,628.00			OPM CA	Construction Administration	\$ 733,422	\$ 1,256,206.00	37%
01			\$ 50,010.00			OPMCLO	Closeout	\$ -	\$ 50,010.00	0%
	Total 01:	\$ 3,182,090.00								
02			\$ 265.27	Leftfield - BBP	4/8/2020	ADPRI	Printing for CMR Application	\$ 265.27	\$ -	100%
02			\$ 323.32	Leftfield - Brookline TAB (Wicked Local)		ADPRI	Legal Advertisement for Designer RFS	\$ 323.32	\$ -	100%
	Total 02:	\$ 588.59								
03			\$ 27,500.00	Leftfield - RLB	7/8/2020	OPMR	Market Study on Construction Costs	\$ 27,500.00	\$ -	100%
	Total 03:	\$27,500.00								
04			\$ 42,900.00	Leftfield - PM&C	7/8/2020	OPMCE	Cost Estimate for 100% DD	\$ 42,900.00	\$ -	100%
	Total 04:	\$42,900.00								
05			\$ 3,960.00	Leftfield - DM Berg	12/8/2020	OPMR	Structural Peer Review	\$ 3,960.00	\$ -	100%
05			\$ 7,810.00	Leftfield - SLS Fire		OPMR	Fire Protection/ Life Safety Review	\$ 2,970.00	\$ 4,840.00	38%
	Total 05:	\$11,770.00								
06			\$ 1,210.00	Leftfield - SLS Fire	5/11/2021	OPMR	Fire Protection/ Life Safety Review of Revised CDs	\$ 1,210.00	\$ -	100%
	Total 06:	\$ 1,210.00								
07			\$ 550.00	Leftfield - SLS Fire	7/13/2021	OPMR	Fire Protection/ Life Safety Review of Revised CDs - GGD	\$ 550.00	\$ -	100%
	Total 07:	\$550.00								
08			\$ 25,940.92	Leftfield - BidDocsOnline	7/13/2021	OPMR	Online Bid Services and Printing	\$ 25,940.92	\$ -	100%
	Total 08:	\$ 25,940.92								

TOTAL: \$ 3,326,564.51 \$ 3,326,564.51

\$ 2,015,508.51 \$ 1,311,056.00 61%

CRITICAL ISSUES

-planning for upcoming summer utility work on Westbourne Terrace, coordination with AHJ's and utility companies

ENGINEERING

RFI's

- Total RFI's issued to date:536
 - Total Open RFI's:21
 - Total Overdue RFI's:20



SUBMITTALS



- Total Open Submittals.....75
 -Total Submitted in May.....165
 - Total Overdue Submittals48

SAFETY



Status of Safe Actions and Conditions:

Gilbane has continued to push the use of daily Safety Task Analysis review with workforce. Gilbane's BU safety manager continues to come onsite weekly to provide feedback. Gilbane is reiterating with subcontractors to take your time to complete the task at hand.

WORKER HOURS:

- May: 8,589
 - Job To-Date: 58,684



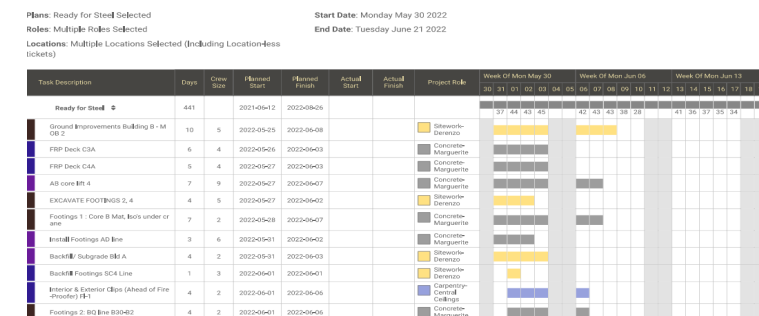
FINANCIAL STATUS

TOTAL Original GMP	\$94,298,030	MAY REQUISITION*	\$2,321,497.06
APP. OCOs (Thru OCO-0011)	\$4,901,163,438	BILLED-TO-DATE*	\$20,947,100.89
CHANGES IN-PROCESS	\$41,911.00	* Gross Value (Before Retainage) to Match Cash Flow	
PROJECTED BILLING BUDGET	\$99,001,219		
PERCENT BILLED	20%		



SCHEDULE

Driscoll School - Gantt Project Report



CURRENT WORK:

- Continuing shear Core A/B
- Underground Utilities A
- Waterproofing and backfilling in A
- Geo Pier Installation
- Excavation for Building B foundation

ACCOMPLISHED:

- Building C steel erection and detailing
- Installation of Mezzanine Steel
- Backfill complete around Building C and A
- Air Handling Units in place on Mezzanine Level

UPCOMING MILESTONES:

- Start of steel at building A
- Completion of Geo Piers
- Start of utilities on Westbourne Terrace
- Start of Building Envelope on Building C



PROGRESS PHOTOS



Shear Core A/B



AHU in place at Mezzanine Level

Click photos for link to all progress photos for May

DIVERSITY TRACKING

- 18% Ethnic Diversity
- 5% Female
- 4% Apprentice

PROJECT-TO-DATE:			GOAL - 15.3 % ETHNIC DIVERSITY		GOAL - 6.9 % FEMALE		APPRENTICES	
PTD Hires**	TRADE	Total Hours	PTD Hours	PTD %	PTD Hours	PTD %	PTD Hours	PTD %
8	Bricklayer	548.5	339.5	62%	0	0%	0	0%
36	Carpenter	14780	3705	25%	343	2%	412	3%
10	Cement Finisher	192	41	21%	0	0%	0	0%
7	Electrician	225	157	70%	0	0%	8	4%
27	Ironworker	5542.5	1916.5	35%	290	5%	759.5	14%
95	Laborer	14136	2002.75	14%	1624.5	11%	0	0%
39	Operator	5945	560	9%	0	0%	368.5	6%
6	Pile Driver	992	95	10%	0	0%	0	0%
3	Plumber	255	0	0%	0	0%	0	0%
231	TOTALS	42615	8816.75	21%	2257.5	5%	1548	4%
PROJECT-TO-DATE PERCENTAGES:								

Michael Driscoll School -
Town of Brookline



Gilbane Building Company



Driscoll School
We find joy in thinking together

Monthly Report #11
May 2022



End of Month Project Schedule Update Narrative

Driscoll School - Gantt Project Report

Plans: Ready for Steel Selected

Start Date: Monday May 30 2022

Roles: Multiple Roles Selected

End Date: Tuesday June 21 2022

Locations: Multiple Locations Selected (Including Location-less tickets)

Task Description	Days	Crew Size	Planned Start	Planned Finish	Actual Start	Actual Finish	Project Role	Week Of Mon May 30					Week Of Mon Jun 06					Week	
								30	31	01	02	03	04	05	06	07	08		09
Ready for Steel ⬇	441		2021-06-12	2022-08-26															
Ground Improvements Building B - M OB 2	10	5	2022-05-25	2022-06-08			Sitework-Derenzo												
FRP Deck C3A	6	4	2022-05-26	2022-06-03			Concrete-Marguerite												
FRP Deck C4A	5	4	2022-05-27	2022-06-03			Concrete-Marguerite												
AB core lift 4	7	9	2022-05-27	2022-06-07			Concrete-Marguerite												
EXCAVATE FOOTINGS 2, 4	4	5	2022-05-27	2022-06-02			Sitework-Derenzo												
Footings 1 : Core B Mat, Iso's under crane	7	2	2022-05-28	2022-06-07			Concrete-Marguerite												
Install Footings AD line	3	6	2022-05-31	2022-06-02			Concrete-Marguerite												
Backfill/ Subgrade Bld A	4	2	2022-05-31	2022-06-03			Sitework-Derenzo												
Backfill Footings SC4 Line	1	3	2022-06-01	2022-06-01			Sitework-Derenzo												
Interior & Exterior Clips (Ahead of Fire-Proof) FI-1	4	2	2022-06-01	2022-06-06			Carpentry-Central Ceilings												
Footings 2: BQ line B30-B2	4	2	2022-06-01	2022-06-06			Concrete-Marguerite												
Under slab - Branch power and Lighting conduit layout and install	5	2	2022-06-02	2022-06-08			Electrical-Griffin												
Install Foundation Stem wall AD line	4	6	2022-06-03	2022-06-08			Concrete-Marguerite												
Set Generator & Tanks	1	2	2022-06-03	2022-06-03			Electrical-Griffin												
EXCAVATE FOOTINGS 3, 6	4	5	2022-06-03	2022-06-08			Sitework-Derenzo												
Erect C Bumpout	1	8	2022-06-06	2022-06-06			Steel- GP East												
Grid Lines, Control, Material Delivery. FI-2	1	1	2022-06-06	2022-06-06			Carpentry-Central Ceilings												
Deck and Detail C Bumpout	4	8	2022-06-07	2022-06-10			Steel- GP East												
Interior & Exterior Clips (Ahead of Fire-Proof) FI-2	4	2	2022-06-07	2022-06-10			Carpentry-Central Ceilings												
Walls 2: BQ line B30-B2	7	2	2022-06-07	2022-06-15			Concrete-Marguerite												
Footings 4: Southwest Corner BJ.4 to B23	4	2	2022-06-07	2022-06-10			Concrete-Marguerite												
Break Down Core AB Platforms	4	3	2022-06-08	2022-06-13			Concrete-Marguerite												
Core B starter wall	9	8	2022-06-08	2022-06-20			Concrete-Marguerite												
Electrical Inspection	1	1	2022-06-09	2022-06-09			Electrical-Griffin												
Backfill/ Grade line AD	1	2	2022-06-09	2022-06-09			Sitework-Derenzo												
Nelson Studs- Roof	1	2	2022-06-10	2022-06-10			Steel- GP East												
Grid Lines, Control, Material Delivery. FI-4	1	1	2022-06-10	2022-06-10			Carpentry-Central Ceilings												
FRP C SOG	10	4	2022-06-13	2022-06-24			Concrete-Marguerite												
FRP Deck C5	5	4	2022-06-13	2022-06-17			Concrete-Marguerite												

Task Description	Days	Crew Size	Planned Start	Planned Finish	Actual Start	Actual Finish	Project Role	Week Of Mon May 30					Week Of Mon Jun 06					Week					
								30	31	01	02	03	04	05	06	07	08		09	10	11	12	13
FRP Deck C3B	5	4	2022-06-13	2022-06-17			Concrete-Marguerite																
Interior & Exterior Clips (Ahead of Fire-Proofer) FI-3	4	2	2022-06-13	2022-06-16			Carpentry-Central Ceilings																
<i>Start Steel Bldg A</i>			2022-06-13	2022-06-13			GC - Gilbane																
Erect Sequence 20 (dock)	1	4	2022-06-13	2022-06-13			Steel- GP East																
Erect Sequence 201 (1)	2	5	2022-06-13	2022-06-14			Steel- GP East																
Deliver seq. 201, 20	1	0	2022-06-13	2022-06-13			Steel- GP East																
Prep Core B Platforms	3	3	2022-06-13	2022-06-15			Concrete-Marguerite																
Footings 3: Top of Ramp	4	2	2022-06-13	2022-06-16			Concrete-Marguerite																
Mobilization	1	2	2022-06-14	2022-06-14			Fireproofing-Ricmor																
SFP C2nd FI C4 - C22 / CZ - CV (west)	1	3	2022-06-15	2022-06-15			Fireproofing-Ricmor																
Erect Sequence 202 (1)	1	5	2022-06-15	2022-06-15			Steel- GP East																
Deliver seq. 202, 203	1	0	2022-06-15	2022-06-15			Steel- GP East																
SFP C3rd FI C2 - C25 / CZ - CN	2	3	2022-06-16	2022-06-17			Fireproofing-Ricmor																
Grid Lines, Control, Material Delivery. FI-3	1	1	2022-06-16	2022-06-16			Carpentry-Central Ceilings																
Erect Sequence 203 (1)	2	5	2022-06-16	2022-06-17			Steel- GP East																
Walls 4: Southwest Corner BJ.4 to B23	5	2	2022-06-16	2022-06-22			Concrete-Marguerite																
Interior & Exterior Clips (Ahead of Fire-Proofer) FI-4	4	2	2022-06-17	2022-06-22			Carpentry-Central Ceilings																
Footings 5: Interior ISO	3	2	2022-06-17	2022-06-21			Concrete-Marguerite																
FRP Deck C4B	5	4	2022-06-20	2022-06-24			Concrete-Marguerite																
SFP C4th FI C2 - C25 / CZ - CN	2	3	2022-06-20	2022-06-21			Fireproofing-Ricmor																
Deliver seq. 205	1	0	2022-06-20	2022-06-20			Steel- GP East																
Deck & Detail A1	5	3	2022-06-20	2022-06-24			Steel- GP East																
Crew Size By Role							Project Role	Week Of Mon May 30					Week Of Mon Jun 06					Week					
Total			Complete	Promised Incomplete	Remaining	30		31	01	02	03	04	05	06	07	08	09		10	11	12	13	
All Roles								37	44	43	45			42	43	43	28	28			41		
							Carpentry-Central Ceilings			2	2	2		3	2	2	2	3			2		
							Concrete-Marguerite	25	27	27	27			19	21	21	15	15			30		
							Electrical-Griffin				2	4		2	2	2	1						
							Fireproofing-Ricmor																
							GC - Gilbane																
							Sitework-Derenzo	12	15	12	12			10	10	10	2						
							Steel- GP East							8	8	8	8	10			9		

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Italic indicates a constraint.



End of Month Project Financial Summary



Curr: 2022-05 Billing Group 1-5	Revenue												
	Original Billing Budget	Approved OCO	Current Billing Budget	Out of Scope Changes in Process	Projected Billing Budget	Billable to Date	Balance of Commitment	Total Commitment	In-Scope Changes	Out-of-Scope Changes	Total Changes in Process	Total ETC	Forecasted Billing
000 - Brookline - Driscoll School													
000.00 - Preconstruction	474,697.00		474,697.00		474,697.00	474,778.24	(81.24)	474,697.00					474,697.00
000.01 - Trades													
000.01.01A - Owner Allowances (Unassigned)													
000.01.01A.081000.E.OA - OA - Water and Sewer Chargers													
000.01.01A.116000.X.OA - OA - Demo of Remaining Owner Furniture	5,000.00		5,000.00		5,000.00				5,000.00	5,000.00			5,000.00
000.01.01A.120000.X.OA - OA - Temp Heating Eq, Labor & Fuel for Winter Cons	325,000.00		325,000.00		325,000.00				325,000.00	325,000.00			325,000.00
000.01.01A.120001.X.OA - OA - Elevator Operator	50,000.00		50,000.00		50,000.00				50,000.00	50,000.00			50,000.00
000.01.01A.120002.X.OA - OA - Electrical Consumption	175,000.00		175,000.00		175,000.00	21,918.01		21,918.01			153,081.99		175,000.00
000.01.01A.122000.X.OA - OA - Fire Watch Details	225,000.00		225,000.00		225,000.00				225,000.00	225,000.00			225,000.00
000.01.01A.125000.X.OA - OA - Police & Traffic Control	180,000.00		180,000.00	456.00	180,456.00	21,962.00		21,962.00			158,494.00		180,456.00
000.01.01A.125010.X.OA - OA - COVID 19 Cleaning / Daily Sanitizing	100,000.00		100,000.00		100,000.00	7,605.60	1,295.06	8,900.66	91,099.34	91,099.34			100,000.00
000.01.31A.310013.X.OA - OA - Water & Sewer Charges	50,000.00		50,000.00		50,000.00				50,000.00	50,000.00			50,000.00
000.01.01A - Owner Allowances (Unassigned)	1,110,000.00		1,110,000.00	456.00	1,110,456.00	51,485.61	1,295.06	52,780.67	746,099.34	746,099.34	311,575.99		1,110,456.00
000.01.01B - General Requirements													
000.01.01B.000001.X.CSS - Temporary Protection / Existing Windows	140,000.00		140,000.00		140,000.00						140,000.00		140,000.00
000.01.01B.000002.X.CSS - Temporary Roads and Parking Lots	50,000.00		50,000.00		50,000.00	6,856.00		6,856.00			43,144.00		50,000.00
000.01.01B.000003.X.CSS - Temporary Stair Tower - 2	60,000.00		60,000.00		60,000.00	18,528.00	10,860.00	29,388.00			30,612.00		60,000.00
000.01.01B.000004.X.CSS - Temporary Staging @ Atrium Stair (platform)	200,000.00		200,000.00		200,000.00						200,000.00		200,000.00
000.01.01B.000005.X.CSS - Temporary Walkways and Guardrails	100,000.00		100,000.00		100,000.00	2,346.00	9,227.00	11,573.00			79,920.00		91,493.00
000.01.01B.000006.X.CSS - Temporary Barriers	25,000.00		25,000.00		25,000.00	804.52		804.52			24,195.48		25,000.00
000.01.01B.000007.X.CSS - Snow Removal / Winter Conditions	120,000.00		120,000.00		120,000.00	1,961.92	4,233.00	6,194.92			113,805.08		120,000.00
000.01.01B.000008.X.CSS - Security - Web Based Service	50,000.00		50,000.00		50,000.00						50,000.00		50,000.00
000.01.01B.000009.X.CSS - Hoisting	50,000.00		50,000.00		50,000.00						50,000.00		50,000.00
000.01.01B.000010.X.CSS - Dust Control / Street Cleaning	35,000.00		35,000.00		35,000.00						35,000.00		35,000.00
000.01.01B.000011.X.CSS - Noise Monitoring	50,000.00		50,000.00		50,000.00						50,000.00		50,000.00
000.01.01B.000012.X.CSS - Indoor Air Quality Testing & Monitoring	30,000.00		30,000.00		30,000.00						30,000.00		30,000.00
000.01.01B.000013.X.CSS - Dust Monitoring	80,000.00		80,000.00		80,000.00						80,000.00		80,000.00
000.01.01B.000014.X.CSS - Vibration Monitoring	50,000.00	(50,000.00)											
000.01.01B.000015.X.CSS - Storage Trailers and Containers	10,000.00		10,000.00		10,000.00						10,000.00		10,000.00
000.01.01B.000016.X.CSS - Safety and Protection	50,000.00		50,000.00		50,000.00	5,139.35	5,765.08	10,904.43	3,201.00	3,201.00	35,894.57		50,000.00
000.01.01B.000017.X.CSS - Moisture Mitigation	100,000.00		100,000.00		100,000.00						100,000.00		100,000.00
000.01.01B.000018.X.CSS - Floor Leveling	50,000.00		50,000.00		50,000.00						50,000.00		50,000.00
000.01.01B.000019.X.CSS - COVID 19 Screening	30,000.00		30,000.00		30,000.00						30,000.00		30,000.00
000.01.01B.000020.X.CSS - Open & Close Sidewalks	96,000.00		96,000.00		96,000.00						96,000.00		96,000.00
000.01.01B.000021.X.CSS - Rough Cleaning & Final Cleaning	774,520.00		774,520.00		774,520.00	7,760.24	197,498.02	205,258.26			569,261.74		774,520.00
000.93.926.890100.Z.CSS - Balance of GRs						6,883.85		6,883.85					6,883.85
000.93.926.890310.Z.CSS - Storage Trailers & Tool Rooms													
000.93.926.890417.Z.CSS - Material Hoist/Lull													
000.93.926.890800.X.CSS - Rough Cleanup						17.62		17.62					17.62
000.93.926.890811.Z.CSS - Final Clean-up													
000.01.01B - General Requirements	2,150,520.00	(50,000.00)	2,100,520.00		2,100,520.00	50,297.50	227,583.10	277,880.60	3,201.00	3,201.00	1,817,832.87		2,098,914.47
000.01.02A - Demo / Abatement													
000.01.02A.001455.X.TA - Concrete - Winter Allowance	100,000.00		100,000.00		100,000.00		100,000.00	100,000.00					100,000.00
000.01.02A.022050.X.TC - Demolition	1,372,460.00	(17,460.00)	1,355,000.00		1,355,000.00		1,455,000.00	1,455,000.00					1,455,000.00
000.01.02A - Demo / Abatement	1,472,460.00	(17,460.00)	1,455,000.00		1,455,000.00		1,555,000.00	1,555,000.00					1,555,000.00
000.01.03A - Cast-In-Place Concrete													
000.01.02A.030000.F.TC - Cast-In-Place Concrete	7,924,859.00	5,160.00	7,930,019.00	502.00	7,930,521.00	3,551,771.18	4,274,016.82	7,825,788.00	12,003.00	502.00	12,505.00		7,838,293.00
000.01.03A - Cast-In-Place Concrete	7,924,859.00	5,160.00	7,930,019.00	502.00	7,930,521.00	3,551,771.18	4,274,016.82	7,825,788.00	12,003.00	502.00	12,505.00		7,838,293.00
000.01.04A - Masonry													

Curr: 2022-05
Billing Group 1-5

Contract Type: GMP, Currency: USD

	Revenue												
	Original Billing Budget	Approved OCO	Current Billing Budget	Out of Scope Changes in Process	Projected Billing Budget	Billable to Date	Balance of Commitment	Total Commitment	In-Scope Changes	Out-of-Scope Changes	Total Changes in Process	Total ETC	Forecasted Billing
000.01.04A .040000.E.TC - Masonry	1,827,000.00	6,006.00	1,833,006.00		1,833,006.00	66,572.00	1,766,434.00	1,833,006.00					1,833,006.00
000.01.04A - Masonry	1,827,000.00	6,006.00	1,833,006.00		1,833,006.00	66,572.00	1,766,434.00	1,833,006.00					1,833,006.00
000.01.05A - Structural Steel													
000.01.05A.055003.S.TA - TA - Beam Pens Per S401	48,000.00		48,000.00		48,000.00		48,000.00	48,000.00					48,000.00
000.01.05A.060000.I.TC - Structural Steel	6,062,456.00	71,519.00	6,133,975.00	26,657.00	6,160,632.00	2,466,520.87	3,667,454.13	6,133,975.00	137,102.00	26,657.00	163,759.00		6,297,734.00
000.01.05A - Structural Steel	6,110,456.00	71,519.00	6,181,975.00	26,657.00	6,208,632.00	2,466,520.87	3,715,454.13	6,181,975.00	137,102.00	26,657.00	163,759.00		6,345,734.00
000.01.05B - Misc. and Ornamental Metals													
000.01.05B.050000.X.TC - Misc. and Ornamental Metals	1,285,000.00	1,495.00	1,286,495.00		1,286,495.00	99,500.00	1,186,995.00	1,286,495.00					1,286,495.00
000.01.05B - Misc. and Ornamental Metals	1,285,000.00	1,495.00	1,286,495.00		1,286,495.00	99,500.00	1,186,995.00	1,286,495.00					1,286,495.00
000.01.06A - Millwork													
000.01.06A.053000.X.TC - Millwork	1,897,972.00	(22,594.00)	1,875,378.00		1,875,378.00		1,875,377.00	1,875,377.00	(2,083.00)		(2,083.00)		1,873,294.00
000.01.06A.060001.I.TA - TA - Wood and PLAM Touch Up	7,500.00		7,500.00		7,500.00		7,500.00	7,500.00					7,500.00
000.01.06A - Millwork	1,905,472.00	(22,594.00)	1,882,878.00		1,882,878.00		1,882,877.00	1,882,877.00	(2,083.00)		(2,083.00)		1,880,794.00
000.01.07A - Waterproofing													
000.01.07A.071010.S.TC - Waterproofing	706,850.00	45,736.00	752,586.00	25,001.00	777,587.00	97,853.85	654,732.15	752,586.00	25,001.00		25,001.00		777,587.00
000.01.07A.076000.X.TA - TA - 5 Man Days of AVB Patch as directed by CM	8,150.00		8,150.00		8,150.00		8,150.00	8,150.00					8,150.00
000.01.07A - Waterproofing	715,000.00	45,736.00	760,736.00	25,001.00	785,737.00	97,853.85	662,882.15	760,736.00	25,001.00		25,001.00		785,737.00
000.01.07B - Roofing and Flashing													
000.01.07B.071010.X.TC - Roofing and Flashing	1,367,000.00		1,367,000.00		1,367,000.00	20,500.00	1,346,500.00	1,367,000.00					1,367,000.00
000.01.07B.890240.Z.TA - TA - Roofing additional 5,000SF Patch	50,000.00		50,000.00		50,000.00		50,000.00	50,000.00					50,000.00
000.01.07B - Roofing and Flashing	1,417,000.00		1,417,000.00		1,417,000.00	20,500.00	1,396,500.00	1,417,000.00					1,417,000.00
000.01.07C - Metal Panels													
000.01.07C.074000.X.TC - Metal Panels	1,790,228.00	(21,228.00)	1,769,000.00		1,769,000.00	239,657.41	1,529,342.59	1,769,000.00					1,769,000.00
000.01.07C - Metal Panels	1,790,228.00	(21,228.00)	1,769,000.00		1,769,000.00	239,657.41	1,529,342.59	1,769,000.00					1,769,000.00
000.01.07D - Spray Fireproofing													
000.01.07D.078000.I.TC - Spray Fireproofing	224,664.00	(2,664.00)	222,000.00		222,000.00		222,000.00	222,000.00					222,000.00
000.01.07D.078030.I.TA - TA - SPFP Patching													
000.01.07D - Spray Fireproofing	224,664.00	(2,664.00)	222,000.00		222,000.00		222,000.00	222,000.00					222,000.00
000.01.08A - Curtainwall													
000.01.08A.084003.E.TC - Curtainwall	3,854,101.00	65,191.00	3,919,292.00	13,179.00	3,932,471.00	143,707.77	3,775,584.23	3,919,292.00		13,179.00	13,179.00		3,932,471.00
000.01.08A - Curtainwall	3,854,101.00	65,191.00	3,919,292.00	13,179.00	3,932,471.00	143,707.77	3,775,584.23	3,919,292.00		13,179.00	13,179.00		3,932,471.00
000.01.08B - Glass and Glazing													
000.01.08B.080000.E.TC - Glass and Glazing	386,400.00		386,400.00		386,400.00		386,400.00	386,400.00					386,400.00
000.01.08B - Glass and Glazing	386,400.00		386,400.00		386,400.00		386,400.00	386,400.00					386,400.00
000.01.08C - Doors, Frames and Hardware													
000.01.08C.081000.E.TC - Doors, Frames and Hardware	567,316.00	(11,816.00)	555,500.00		555,500.00		555,500.00	555,500.00					555,500.00
000.01.08D.088006.E.TA - TA - Door Touch Up	7,500.00		7,500.00		7,500.00		7,500.00	7,500.00					7,500.00
000.01.08C - Doors, Frames and Hardware	574,816.00	(11,816.00)	563,000.00		563,000.00		563,000.00	563,000.00					563,000.00
000.01.09A - Drywall / General Trades													
000.01.09A.051001.S.TC - Drywall / General Trades	8,069,261.00	(107,733.00)	7,961,528.00		7,961,528.00		7,961,528.00	7,961,528.00	12,452.00		12,452.00		7,973,980.00
000.01.09A.090010.X.TA - TA - Wood blocking above & beyond scope	15,000.00		15,000.00		15,000.00		15,000.00	15,000.00					15,000.00
000.01.09A.090012.X.TA - TA - (Carpenter) Drywall repair at Direction of CM	11,500.00		11,500.00		11,500.00		11,500.00	11,500.00					11,500.00
000.01.09A.092002.X.TA - TA - (Taper) Drywall patching at Direction of CM	20,400.00		20,400.00		20,400.00		20,400.00	20,400.00					20,400.00
000.01.09A.092003.I.TA - TA - Work as Directed (General Trades)	10,000.00		10,000.00		10,000.00		10,000.00	10,000.00					10,000.00
000.01.09A.092003.X.TA - TA - (Carpenter) Safety Work @ Direction of CM	11,500.00		11,500.00		11,500.00		11,500.00	11,500.00					11,500.00
000.01.09A.092004.X.TA - TA - Temp Weather Protection (not in Base)	15,000.00		15,000.00		15,000.00		15,000.00	15,000.00					15,000.00
000.01.09A.092005.X.TA - TA - Hollow Metal Door Frames	5,000.00		5,000.00		5,000.00		5,000.00	5,000.00					5,000.00
000.01.09A.092006.X.TA - TA - 10 additional Access Panels (above base bid)	2,500.00		2,500.00		2,500.00		2,500.00	2,500.00					2,500.00
000.01.09A - Drywall / General Trades	8,160,161.00	(107,733.00)	8,052,428.00		8,052,428.00		8,052,428.00	8,052,428.00	12,452.00		12,452.00		8,064,880.00
000.01.09B - Resilient Flooring													

Curr: 2022-05
Billing Group 1-5

Contract Type: GMP, Currency: USD

	Revenue												
	Original Billing Budget	Approved OCO	Current Billing Budget	Out of Scope Changes in Process	Projected Billing Budget	Billable to Date	Balance of Commitment	Total Commitment	In-Scope Changes	Out-of-Scope Changes	Total Changes in Process	Total ETC	Forecasted Billing
000.01.09B.096000.X.TC - Resilient Flooring	505,371.00		505,371.00		505,371.00	10,858.00	494,513.00	505,371.00					505,371.00
000.01.09B - Resilient Flooring	505,371.00		505,371.00		505,371.00	10,858.00	494,513.00	505,371.00					505,371.00
000.01.09C - Tile													
000.01.09C.093000.X.TC - Tile	262,272.00		262,272.00		262,272.00		262,272.00	262,272.00					262,272.00
000.01.09C - Tile	262,272.00		262,272.00		262,272.00		262,272.00	262,272.00					262,272.00
000.01.09D - Painting													
000.01.09D.090003.X.TC - Painting	475,970.00		475,970.00		475,970.00	8,760.00	467,210.00	475,970.00	6,475.00		6,475.00		482,445.00
000.01.09D.096004.X.TA - TA - Painting Touch Up	50,000.00		50,000.00		50,000.00		50,000.00	50,000.00					50,000.00
000.01.09D - Painting	525,970.00		525,970.00		525,970.00	8,760.00	517,210.00	525,970.00	6,475.00		6,475.00		532,445.00
000.01.09E - Acoustic Tile													
000.01.09E.093020.X.TA - TA - 80 Hrs remove and reinstall ceiling tiles	10,622.00		10,622.00		10,622.00		10,622.00	10,622.00					10,622.00
000.01.09E.095100.X.TC - Acoustic Tile	1,147,050.00		1,147,050.00		1,147,050.00		1,147,050.00	1,147,050.00					1,147,050.00
000.01.09E.099000.X.TA - TA -Pass back though building	7,300.00		7,300.00		7,300.00		7,300.00	7,300.00					7,300.00
000.01.09E - Acoustic Tile	1,164,972.00		1,164,972.00		1,164,972.00		1,164,972.00	1,164,972.00					1,164,972.00
000.01.09F - Wood Flooring													
000.01.09F.096400.X.TC - Wood Flooring	212,520.00	(2,520.00)	210,000.00		210,000.00		210,000.00	210,000.00					210,000.00
000.01.09F - Wood Flooring	212,520.00	(2,520.00)	210,000.00		210,000.00		210,000.00	210,000.00					210,000.00
000.01.09G - Resinous Flooring													
000.01.09G.096200.X.TC - Resinous Flooring	90,766.00	(1,076.00)	89,690.00		89,690.00		89,690.00	89,690.00					89,690.00
000.01.09G - Resinous Flooring	90,766.00	(1,076.00)	89,690.00		89,690.00		89,690.00	89,690.00					89,690.00
000.01.09H - Carpeting													
000.01.09H.096500.X.TC - Carpeting	86,627.00	(1,027.00)	85,600.00		85,600.00		85,600.00	85,600.00					85,600.00
000.01.09I.096040.X.TC - Terrazzo													
000.01.09H - Carpeting	86,627.00	(1,027.00)	85,600.00		85,600.00		85,600.00	85,600.00					85,600.00
000.01.10A - Specialties													
000.01.10A.080000.E.TC - Specialties	789,108.00	(111,908.00)	677,200.00		677,200.00		656,200.00	656,200.00	2,566.00		2,566.00	18,434.00	677,200.00
000.01.10A - Specialties	789,108.00	(111,908.00)	677,200.00		677,200.00		656,200.00	656,200.00	2,566.00		2,566.00	18,434.00	677,200.00
000.01.10B - Signage													
000.01.10B.101120.X.TC - Signage	75,000.00	(900.00)	74,100.00		74,100.00	909.58	76,882.00	77,791.58					77,791.58
000.01.10B - Signage	75,000.00	(900.00)	74,100.00		74,100.00	909.58	76,882.00	77,791.58					77,791.58
000.01.10C - Overhead Doors													
000.01.10C.083000.E.TC - Overhead Doors	82,782.00	(982.00)	81,800.00		81,800.00		81,800.00	81,800.00					81,800.00
000.01.10C - Overhead Doors	82,782.00	(982.00)	81,800.00		81,800.00		81,800.00	81,800.00					81,800.00
000.01.11A - Food Service Equipment													
000.01.11C.114000.X.TC - Food Service Equipment	437,184.00	4,546.00	441,730.00		441,730.00	32,383.59	409,346.41	441,730.00					441,730.00
000.01.11A - Food Service Equipment	437,184.00	4,546.00	441,730.00		441,730.00	32,383.59	409,346.41	441,730.00					441,730.00
000.01.11B - Gym Equipment													
000.01.11B.116000.X.TC - Gym Equipment	197,340.00	(2,340.00)	195,000.00	(940.00)	194,060.00		195,000.00	195,000.00		(940.00)	(940.00)		194,060.00
000.01.11B - Gym Equipment	197,340.00	(2,340.00)	195,000.00	(940.00)	194,060.00		195,000.00	195,000.00		(940.00)	(940.00)		194,060.00
000.01.11C - Theater Equipment													
000.01.11B.105000.X.TC - Theater Equipment	236,037.00		236,037.00		236,037.00		233,238.00	233,238.00					233,238.00
000.01.11C - Theater Equipment	236,037.00		236,037.00		236,037.00		233,238.00	233,238.00					233,238.00
000.01.12A - Window Treatment													
000.01.12A.012001.X.TC - Window Treatments	232,895.00	(2,795.00)	230,100.00		230,100.00		110,800.00	110,800.00				119,300.00	230,100.00
000.01.12A - Window Treatment	232,895.00	(2,795.00)	230,100.00		230,100.00		110,800.00	110,800.00				119,300.00	230,100.00
000.01.14A - Elevators													
000.01.14A.014000.X.TC - Elevators	394,000.00		394,000.00		394,000.00		394,000.00	394,000.00					394,000.00
000.01.14A - Elevators	394,000.00		394,000.00		394,000.00		394,000.00	394,000.00					394,000.00
000.01.21A - Fire Protection													
000.01.21A.100000.I.TC - Fire Protection	939,600.00	6,821.00	946,421.00	1.00	946,422.00	59,950.00	886,471.00	946,421.00		1.00	1.00		946,422.00

Curr: 2022-05
Billing Group 1-5

Contract Type: GMP, Currency: USD

	Revenue												
	Original Billing Budget	Approved OCO	Current Billing Budget	Out of Scope Changes in Process	Projected Billing Budget	Billable to Date	Balance of Commitment	Total Commitment	In-Scope Changes	Out-of-Scope Changes	Total Changes in Process	Total ETC	Forecasted Billing
000.01.21A - Fire Protection	939,600.00	6,821.00	946,421.00	1.00	946,422.00	59,950.00	886,471.00	946,421.00		1.00	1.00		946,422.00
000.01.22A - Plumbing													
000.01.22A.220000.TC.TC - Plumbing	2,353,000.00	60,080.00	2,413,080.00	1.00	2,413,081.00	191,425.00	2,221,655.00	2,413,080.00		1.00	1.00		2,413,081.00
000.01.22A - Plumbing	2,353,000.00	60,080.00	2,413,080.00	1.00	2,413,081.00	191,425.00	2,221,655.00	2,413,080.00		1.00	1.00		2,413,081.00
000.01.23A - HVAC													
000.01.23A.230000.TC.TC - HVAC	10,433,000.00	397,453.00	10,830,453.00	2.00	10,830,455.00	1,482,218.80	9,348,234.20	10,830,453.00		2.00	2.00		10,830,455.00
000.01.23A - HVAC	10,433,000.00	397,453.00	10,830,453.00	2.00	10,830,455.00	1,482,218.80	9,348,234.20	10,830,453.00		2.00	2.00		10,830,455.00
000.01.26A - Electrical													
000.01.26A.110000.X.TC - Electrical	6,259,000.00	27,518.00	6,286,518.00	685.00	6,287,203.00	211,641.00	6,074,877.00	6,286,518.00		685.00	685.00		6,287,203.00
000.01.26A - Electrical	6,259,000.00	27,518.00	6,286,518.00	685.00	6,287,203.00	211,641.00	6,074,877.00	6,286,518.00		685.00	685.00		6,287,203.00
000.01.31A - Sitework													
000.01.31A.090000.X.OA - OA - All soil removal in spec 31 20 01 p 3.9 A&B	46,208.00		46,208.00		46,208.00	46,208.00		46,208.00					46,208.00
000.01.31A.310005.X.OA - OA -Rock sockets, site access SOE Install	250,000.00		250,000.00		250,000.00	79,385.00	170,615.00	250,000.00					250,000.00
000.01.31A.310006.X.OA - OA - Over-Excavation, assume clean disposal	365,000.00		365,000.00		365,000.00		365,000.00	365,000.00					365,000.00
000.01.31A.310007.X.OA - OA - Water Treatment-Carbon Filtering	50,000.00		50,000.00		50,000.00		50,000.00	50,000.00					50,000.00
000.01.31A.310012.X.OA - OA - Soil Removal/Disposal in spec 31 20 01 p 4.2	435,000.00		435,000.00		435,000.00	435,000.00		435,000.00					435,000.00
000.01.31A.311000.X.TC - Sitework	8,732,142.00	3,448,614.00	12,180,756.00		12,180,756.00	4,702,748.00	7,478,008.00	12,180,756.00	5,001.00		5,001.00		12,185,757.00
000.01.31A.312300.X.TA - TA - Street Sweeping	15,000.00		15,000.00		15,000.00		15,000.00	15,000.00					15,000.00
000.01.31A.312301.X.TA - TA - Added stone to stablize site	20,000.00		20,000.00		20,000.00		20,000.00	20,000.00					20,000.00
000.01.31A.316000.X.TA - TA - Add temp walkways to stablize site	5,000.00		5,000.00		5,000.00		5,000.00	5,000.00					5,000.00
000.01.31A.410000.X.TA - TA - Rework Temp Fencing	15,000.00		15,000.00		15,000.00		15,000.00	15,000.00					15,000.00
000.01.31A.890720.X.OA - OA - Soil removal and disposal	729,920.00		729,920.00		729,920.00	729,920.00		729,920.00					729,920.00
000.01.31A.890720.Z.TA - TA - Snow Removal Operations	50,000.00		50,000.00		50,000.00	30,081.00	19,919.00	50,000.00					50,000.00
000.01.31A.899900.X.TA - TA - Provide Utilities for Temp Officeta	20,000.00		20,000.00		20,000.00		20,000.00	20,000.00					20,000.00
000.01.31A.899905.X.TA - TA - Bring site up to design subgrade	15,000.00		15,000.00		15,000.00		15,000.00	15,000.00					15,000.00
000.01.31A - Sitework	10,748,270.00	3,448,614.00	14,196,884.00		14,196,884.00	6,023,342.00	8,173,542.00	14,196,884.00	5,001.00		5,001.00		14,201,885.00
000.01.32A - Site Improvements													
000.01.32A.025000.X.TC - Site Improvement	3,776,784.00	(44,784.00)	3,732,000.00		3,732,000.00		3,710,000.00	3,710,000.00	5,001.00		5,001.00		3,715,001.00
000.01.32A - Site Improvements	3,776,784.00	(44,784.00)	3,732,000.00		3,732,000.00		3,710,000.00	3,710,000.00	5,001.00		5,001.00		3,715,001.00
000.01.32B - Synthetic Grass Surfacing													
000.01.32B.320000.X.TC - Synthetic Grass Surfacing	271,999.00	(3,264.00)	268,735.00		268,735.00		228,778.00	228,778.00					228,778.00
000.01.32B - Synthetic Grass Surfacing	271,999.00	(3,264.00)	268,735.00		268,735.00		228,778.00	228,778.00					228,778.00
000.01 - Trades	80,982,634.00	3,735,048.00	84,717,682.00	65,544.00	84,783,226.00	14,809,354.16	66,822,872.69	81,632,226.85	206,719.00	786,186.34	992,905.34	2,267,142.86	84,892,275.05
000.02 - Construction Contingency													
000.02.89A.899900.X.GC - Construction Contingency	2,196,497.00	(140,294.00)	2,056,203.00	(25,001.00)	2,031,202.00							1,854,585.19	1,854,585.19
000.02 - Construction Contingency	2,196,497.00	(140,294.00)	2,056,203.00	(25,001.00)	2,031,202.00							1,854,585.19	1,854,585.19
000.92 - Construction General Conditions													
000.93.926.890150.Z.CSS - Pest Control	9,900.00		9,900.00		9,900.00	2,439.46	7,460.54	9,900.00					9,900.00
000.93.926.890330.Z.CSS - Temp Toilets	52,800.00		52,800.00		52,800.00	9,842.44	42,957.56	52,800.00					52,800.00
000.93.926.890371.Z.CSS - Small Tools	26,400.00		26,400.00		26,400.00	4,921.22	21,478.78	26,400.00					26,400.00
000.93.926.890560.Z.CSS - Project Signs						438.68	(438.68)						
000.93.926.890700.Z.CSS - Layout & Engineering													
000.93.926.890710.Z.CSS - Safety Incentives						1,542.95	(1,542.95)						
000.93.926.890720.X.CSS - Dumpsters	140,000.00		140,000.00		140,000.00	26,097.37	113,902.63	140,000.00					140,000.00
000.93.926.890720.Z.CSS - Precondition Survey													
000.93.926.890721.Z.CSS - Bldg. Envelope Review													
000.93.926.950900.Z.CSS - First Aid Kit	7,200.00		7,200.00		7,200.00	1,342.15	5,857.85	7,200.00					7,200.00
000.93.926.989110.Z.CSS - Project Fire Extinguishers						0.04	(0.04)						
920 - Field Labor	4,251,350.00	50,000.00	4,301,350.00		4,301,350.00	852,873.79	3,448,476.21	4,301,350.00					4,301,350.00
922 - Regional Labor	612,331.00		612,331.00		612,331.00	125,112.80	487,218.20	612,331.00					612,331.00

Curr: 2022-05
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Contract Type: GMP, Currency: USD

925 - Site Support Costs
000.92 - Construction General Conditions
000.97 - Insurances & Bond
000.99 - Fee
000 - Brookline - Driscoll School

Revenue												
Original Billing Budget	Approved OCO	Current Billing Budget	Out of Scope Changes in Process	Projected Billing Budget	Billable to Date	Balance of Commitment	Total Commitment	In-Scope Changes	Out-of-Scope Changes	Total Changes in Process	Total ETC	Forecasted Billing
181,050.00		181,050.00		181,050.00	87,541.20	93,508.80	181,050.00					181,050.00
5,281,031.00	50,000.00	5,331,031.00		5,331,031.00	1,112,152.10	4,218,878.90	5,331,031.00					5,331,031.00
3,293,171.00	781,229.00	4,074,400.00	643.00	4,075,043.00	1,864,786.48		1,864,786.48		3.00	3.00	2,277,821.28	4,142,610.76
2,070,000.00	235,295.00	2,305,295.00	725.00	2,306,020.00	402,007.42	1,903,287.58	2,305,295.00		725.00	725.00		2,306,020.00
94,298,030.00	4,661,278.00	98,959,308.00	41,911.00	99,001,219.00	18,663,078.40	72,944,957.93	91,608,036.33	206,719.00	786,914.34	993,633.34	6,399,549.33	99,001,219.00

Michael Driscoll School

PCI Summary 6/1/2022

PCI No and Description		PCI Created Date	PCI Hdr Status	Owner Change	PCI Classifier 1	ATP			ATP Sent Date	ATP Status		PCI Current Cost	Billing Amt Dtl
OS-00035	ASI #10 Shaft Transitions at Ceilings, Edge of Slab at RTU-5 Shaft	11/16/2021	POT	n/a	AE	ATP-0039	REV 1- ASI #10 Shaft Transitions at Ceilings, EOS, & RTU-5	5/31/2022	S	Submitted	14,658.00	16,112.00	
OS-00038	ASI #12 Elevator Structure Clarifications	11/26/2021	POT	n/a	AE	ATP-0073	ASI #12 Elevator Structure Clarifications	5/25/2022	A	Active/Pending	16,973.00	17,747.00	
OS-00044	ASI 13R3 RCP Revisions PR #008	12/10/2021	POT	n/a	AE	'-	Unknown		'-	Unknown	13,556.00	14,032.00	
OS-00049	Power and Data Outlet Modifications	12/20/2021	POT	n/a	TOB	ATP-0043	PR #008 Power and Data Outlet Modifications	3/7/2022	R	Revise & Resubmit	(11,234.00)	(11,234.00)	
OS-00051	ASI #16R3 RCP Floor 2 Clarifications	12/21/2021	POT	n/a	AE	'-	Unknown		'-	Unknown	34,006.00	34,536.00	
OS-00052	ASI #17 Cafeteria and Project Area Clarifications	12/21/2021	POT	n/a	AE	ATP-0068	ASI #17 Cafeteria and Project Area Clarifications		S	Submitted	(13,236.00)	(13,236.00)	
OS-00053	ASI #22 Stair 7 Openings at North Shear Wall	12/22/2021	PWA	n/a	AE	ATP-0067	ASI #22 Stair 7 Openings at North Shear Wall	4/14/2022	C	Completed/Approved	2,045.00	2,248.00	
OS-00056	PR 004 and PR 011 EV Charging Station Circuitry	01/03/2022	PWA	n/a	TOB	ATP-0044	REV 1-PR 004 and PR 011 EV Charging Station Circuitry	2/4/2022	C	Completed/Approved	74,763.00	81,261.00	
OS-00061	ASI #26R,RFI #233.1 & #360 Smoke Vent & Window Sill Clarification	01/10/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	14,335.00	16,125.00	
OS-00063	Structural Shop Drawing Review-Redrafting Changes	01/19/2022	PWA	n/a	AE	ATP-0059	REV 1- Structural Shop Drawing Review-Redrafting Changes	3/24/2022	C	Completed/Approved	3,900.00	4,287.00	
OS-00066	PR #014 Floor Drain at Custodian Workshop 0200	01/26/2022	PWA	n/a	TOB	ATP-0063	PR #014 Floor Drain at Custodian Workshop 0200	4/1/2022	C	Completed/Approved	2,865.00	3,124.00	
OS-00071	ASI #33 Medeco Cylinder Core- Town of Brookline Standard	01/31/2022	PWA	n/a	TOB	ATP-0056	ASI #33 Medeco Cylinder Core- Town of Brookline Standard	3/22/2022	C	Completed/Approved	(22,908.00)	(22,908.00)	
OS-00074	ASI #024R2 RCP Coordination- Floor 3	02/01/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	5,455.00	6,072.00	
OS-00075	RFI #239 Door Hardware Change	02/05/2022	PWA	n/a	AE	ATP-0058	RFI #239 Door Hardware Change	3/23/2022	C	Completed/Approved	25,307.00	27,818.00	
OS-00077	ASI #30R Steel Clarifications	02/12/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	43,763.00	44,494.00	
OS-00078	PR #19 Electrical Modification-Ductless Cooling Units	02/23/2022	POT	n/a	AE	ATP-0064	PR #19 Electrical Modification-Ductless Cooling Units	4/4/2022	R	Revise & Resubmit	0.00	0.00	
OS-00079	ASI #031 Exhibit C Schedule Clarification PR-020	03/01/2022	PWA	n/a	AE	'-	Unknown		'-	Unknown	0.00	0.00	
OS-00082	Guidance Waiting-Delete Storage Room	03/14/2022	POT	n/a	AE	ATP-0072	PR-020 Guidance Waiting-Delete Storage Room	5/24/2022	S	Submitted	(4,606.00)	(4,606.00)	
OS-00083	RFI #300 Modify Column Base Plate to Span Between Footings	03/14/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	2,155.00	2,155.00	
OS-00084	RFI #249 Gym Mural Modification	03/17/2022	PWA	n/a	AE	ATP-0071	RFI #249 Gym Mural Modification	5/24/2022	C	Completed/Approved	0.00	0.00	
OS-00085	RFI #285 and RFI #371 Skylight Stem Wall Rebar Design	03/21/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	5,001.00	5,438.00	

OS-00086	RFI #277 Top of Wall-C- Foundation Clarification at C21.6	03/21/2022	POT	n/a	AE	ATP-0057	RFI #277 Top of Wall-C- Foundation Clarification at C21.6	3/22/2022	S	Submitted	0.00	0.00
OS-00087	RFI #292 Loading Dock Column and Footing Detail	03/21/2022	POT	n/a	AE	ATP-0069	RFI #292 Loading Dock Column and Footing Detail		S	Submitted	13,307.00	14,627.00
OS-00088	RFI #241.1 P-12 Emergency Shower and Eyewash Clarifications	03/22/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	4,002.00	4,260.00
OS-00089	PR #22 Service Area Ramp	03/22/2022	POT	n/a	AE	ATP-0070	PR #22 Service Area Ramp	6/1/2022	S	Submitted	11,213.00	12,244.00
OS-00090	ASI #32 RCP FL4 Clarifications	03/23/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	3,870.00	4,487.00
OS-00092	ASI #28 Window Soffit Sill Detail	03/24/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	32,342.00	32,811.00
OS-00093	ASI #34 Clock, Speakers, Scoreboard Clarifications	03/25/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	(432.00)	(432.00)
OS-00095	RFI #309 Omission of Spare Conduit Run	03/31/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	(1,001.00)	(1,001.00)
OS-00096	ASI #35 Storefront – Metal Panel R.O. Clarifications	03/31/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	5,060.00	5,444.00
OS-00097	RFI #312 Shaft Adjustment at Level 3 Kitchen Exhaust PR-023	04/05/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	1,955.00	2,140.00
OS-00098	Door Control Modifications	04/09/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	26,002.00	28,551.00
OS-00099	RFI #70 Roof Drainage Phasing	04/13/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	5,001.00	5,497.00
OS-00100	ASI #36 Locker Room Clarification	04/14/2022	PWA	n/a	AE	ATP-0076	ASI #36 Locker Room Clarification	5/31/2022	C	Completed/ Approved	0.00	0.00
OS-00101	ASI #27 Sloped Glazing	04/14/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	12,030.00	12,586.00
OS-00102	RFI #112.1 Primed Break Metal Covers in Gym	04/21/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	13,258.00	14,400.00
OS-00103	RFI #339 Missing 5 Door Openings on Door Schedule	04/27/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	15,301.00	16,861.00
OS-00104	REV 2- ASI #6 RCP Clarifications- Floor 0	05/03/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	5,322.00	5,871.00
OS-00105	RFI #333 Header Beam at Northeast Areaway Louwer Openings	05/03/2022	POT	n/a	AE	ATP-0075	RFI #333 Header Beam at Northeast Areaway Louwer Openings	5/31/2022	S	Submitted	1,548.00	1,702.00
OS-00106	ASI-037 Lighting- Exterior & Flagpole Relocation	05/04/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	(999.00)	(999.00)
OS-00108	ASI-039 Roof - Edge Slab Clarifications	05/06/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	5,003.00	5,003.00
OS-00110	ASI-043 Thermal Block (Updated 5.16.22) Also RFI- 274.1	05/16/2022	POT	n/a	AE	ATP-0074	ASI-043 Thermal Block (Updated 5.16.22) Also RFI- 274.1	5/26/2022	S	Submitted	40,802.00	44,317.00
OS-00111	ASI #41 Typical Classroom Communication- Control PR #24	05/18/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	2,003.00	2,232.00
OS-00112	Additional Phenolic Lockers PR #26	05/18/2022	POT	n/a	TOB	'-	Unknown		'-	Unknown	6,748.00	7,392.00
OS-00113	OT/PT 4128 Ceiling Hooks	05/18/2022	POT	n/a	AE	'-	Unknown		'-	Unknown	6,002.00	6,532.00

OS-00115	ASI #47 Door Swing Clarifications	05/26/2022	POT	n/a	AE	'-	Unknown			'-	Unknown	3,003.00	3,287.00
OS-00116	ASI #48 and RFI #380 Partition Type Clarification	05/31/2022	POT	n/a	AE	'-	Unknown			'-	Unknown	20,004.00	21,987.00
Total												438,142.00	473,264.00



GBC - Gilbane Building Company
ATP Summary

J08864.000 - Brookline - Driscoll School

ATP No	ATP Title	Class	Issue Date	Turn Around	Requested Amount	Approved Status Amount	Approved Date
ATP-0039	REV 1- ASI #10 Shaft Transitions at Ceilings, EOS, & RTU-5	External	05/31/2022		16,112	S - Submitted	
ATP-0043	PR #008 Power and Data Outlet Modifications	External	03/07/2022		- 11,234	R - Revise & Resubmit	
ATP-0057	RFI #277 Top of Wall- C- Foundation Clarification at C21.6	External	03/22/2022		0	S - Submitted	
ATP-0064	PR #19 Electrical Modification- Ductless Cooling Units	External	04/04/2022		0	R - Revise & Resubmit	
ATP-0069	RFI #292 Loading Dock Column and Footing Detail	External			14,627	S - Submitted	
ATP-0070	PR #22 Service Area Ramp	External			12,244	S - Submitted	
ATP-0072	PR-020 Guidance Waiting- Delete Storage Room	External	05/24/2022		- 4,606	S - Submitted	
ATP-0073	ASI #12 Elevator Structure Clarifications	External	05/25/2022		17,747	S - Submitted	
ATP-0074	ASI-043 Thermal Block (Updated 5.16.22) Also RFI-274.1	External	05/26/2022		44,317	S - Submitted	
ATP-0075	RFI #333 Header Beam at Northeast Areaway Louver Openings	External	05/31/2022		1,702	S - Submitted	
Total Project:					90,909		



GBC - Gilbane Building Company
Trade Allowance PCI Summary Report

J08864.000 - Brookline - Driscoll School

PCI No	Description	Vendor	Contract	Allowance	Current	Balance
Project: J08864.000 - Brookline - Driscoll School						
TA-00001	Street Sweeping	J. Derenzo Company	J08864.000-0020	15,000.00	0.00	15,000.00
TA-00002	Added Stone to Stabilize Site	J. Derenzo Company	J08864.000-0020	20,000.00	0.00	20,000.00
TA-00003	Additional Temp Walkways Not Shown	J. Derenzo Company	J08864.000-0020	5,000.00	0.00	5,000.00
TA-00004	Rework Temp Fencing and Gates as directed	J. Derenzo Company	J08864.000-0020	15,000.00	0.00	15,000.00
TA-00005	Snow Removal Operations	J. Derenzo Company	J08864.000-0020	50,000.00	28,235.68	21,764.32
TA-00006	Utilities for Temp Offices	J. Derenzo Company	J08864.000-0020	16,736.00	0.00	16,736.00
TA-00006	Utilities for Temp Offices	Patrick J Kennedy & Sons Inc	J08864.000-0009	3,264.00	3,264.00	0.00
TA-00007	Bring Site Up To Design Subgrade	J. Derenzo Company	J08864.000-0020	15,000.00	0.00	15,000.00
TA-00008	Beam Pens Per S401	Supermetal Structures Inc.	J08864.000-0006	48,000.00	10,900.00	37,100.00
TA-00009	AVB Patch	Armani Restoration Inc	J08864.000-0021	8,150.00	0.00	8,150.00
TA-00010	Paint Touch-Up	Color Concepts Inc	J08864.000-0017	50,000.00	0.00	50,000.00
TA-00011	Wood and Plam Touch up	Polybois Inc	J08864.000-0037	7,500.00	0.00	7,500.00
TA-00012	Roofing additional 5,000SF patch	JD Rivet & Company Incorporated	J08864.000-0022	50,000.00	0.00	50,000.00
TA-00013	Door Touch Up	Kamco Supply Corp. of Boston	J08864.000-0029	7,500.00	0.00	7,500.00
TA-00014	120 hours (Carpenter) for drywall repair	Central Ceilings Inc	J08864.000-0025	11,500.00	0.00	11,500.00
TA-00015	200 hours (Taper) for drywall patching	Central Ceilings Inc	J08864.000-0025	20,400.00	0.00	20,400.00
TA-00016	120 hours (Carpenter) for misc. safety work	Central Ceilings Inc	J08864.000-0025	11,500.00	0.00	11,500.00
TA-00017	Work as Directed per direction of CM	Central Ceilings Inc	J08864.000-0025	20,000.00	0.00	20,000.00
TA-00018	Temp Weather Protection	Central Ceilings Inc	J08864.000-0025	15,000.00	0.00	15,000.00
TA-00019	Hollow Metal Door Frames	Central Ceilings Inc	J08864.000-0025	5,000.00	0.00	5,000.00
TA-00020	Installation of an additional 10 Access Panels	Central Ceilings Inc	J08864.000-0025	2,500.00	0.00	2,500.00
TA-00021	Wood Blocking Required Above and Beyond	Central Ceilings Inc	J08864.000-0025	15,000.00	0.00	15,000.00
TA-00022	Patching Allowance- Spray Fireproofing	RicMor Construction, Inc	J08864.000-0028	70,500.00	0.00	70,500.00
TA-00023	Ceiling Tile Remove for MEP	The Cheviot Corporation	J08864.000-0015	10,622.00	0.00	10,622.00
TA-00024	Re-install and Adjust Tile of Entire Building	The Cheviot Corporation	J08864.000-0015	7,300.00	0.00	7,300.00
TA-00025	Winter Allowance (Concrete)	Marguerite Concrete Contractors,	J08864.000-0019	100,000.00	22,005.46	77,994.54
Report Total:				600,472.00	64,405.14	536,066.86



**GBC - Gilbane Building Company
Owner Allowance Summary Report**

J08864.000 - Brookline - Driscoll School

PCI No	Description	Status	Posted	Allowance Amount	Estimated	Invoice	Approved	Current Value	Balance
OA-00001	Disposal of Soils not classified as Clean	PWA	N	729,920.00	614,586.55	729,920.00	729,920.00	729,920.00	0.00
OA-00002	Demo of remaining Owner Furniture	PWA	N	5,000.00	0.00	0.00	0.00	0.00	5,000.00
OA-00003	Temp Heating	PWA	N	325,000.00	0.00	0.00	0.00	0.00	325,000.00
OA-00004	Elevator Operator	PWA	N	50,000.00	0.00	0.00	0.00	0.00	50,000.00
OA-00005	Electrical Consumption	PWA	N	175,000.00	21,918.00	21,918.00	21,918.00	0.00	153,082.00
OA-00006	Water & Sewer Charges	PWA	N	50,000.00	0.00	0.00	0.00	0.00	50,000.00
OA-00007	Fire Watch Details	PWA	N	225,000.00	0.00	0.00	0.00	0.00	225,000.00
OA-00008	Police & Traffic Control	PWA	N	180,000.00	45,438.00	27,674.00	27,674.00	48,824.00	131,176.00
OA-00009	Covid 19 Cleaning /Daily Sanitizing - 8 Months	PWA	N	100,000.00	4,200.00	5,608.62	2,055.62	5,608.62	94,391.38
OA-00010	Rock Socket , Clear Access, SOE Install, Site Stabilization	PWA	N	250,000.00	91,610.01	15,194.02	83,495.74	96,370.74	153,629.26
OA-00011	Over Excavation Allowance	PWA	N	365,000.00	120,750.00	0.00	0.00	120,750.00	244,250.00
OA-00012	Water Treatment by means of Carbon Filtering	PWA	N	50,000.00	0.00	0.00	0.00	0.00	50,000.00
OA-00013	Contaminated Soils removal	PWA	N	46,208.00	34,000.00	45,194.16	45,194.16	45,194.16	1,013.84
OA-00014	Soil Removal and Disposal in Excess of QTY	PWA	N	435,000.00	431,146.99	435,000.20	435,000.00	435,000.00	0.00
OA-00015	Place Holder	POT	N	0.00	0.00	0.00	0.00	0.00	0.00
Total Report:				2,986,128.00	1,363,649.55	1,280,509.00	1,345,257.52	1,481,667.52	1,482,542.48



End of Month Project RFI Summary



RFI	Subject	Date Initiated	Rfi Stage	Status	Ball In Court	Due Date	Overdue	Due Date Variance
216.1	EOS Clarifications - Level 4	1/20/22	Coordination	Open	JLA	1/25/22	Yes	127
227.1	EOS Clarifications - Level 1	1/20/22	Coordination	Open	JLA	1/25/22	Yes	127
330	Spandrel glass in Projects area	4/6/22	Course of Construction	Open	JLA	4/11/22	Yes	51
347.1	MP Technology Rm-Doors & Frames #2314A, 2314B & 2314C - Revise Detail S18/A712	5/12/22	Course of Construction	Open	JLA	5/17/22	Yes	15
351	Concrete Slab Pinwheel Sawcut Pattern Around Columns	5/4/22	Course of Construction	Open	JLA	5/9/22	Yes	23
353	Bug Screen at Open Control Joints	5/4/22	Course of Construction	Open	JLA	5/9/22	Yes	23
354	Conflict of Existing Irrigation Structure and Footing at B13-BD	5/5/22	Course of Construction	Open	JLA	5/10/22	Yes	22
360	ASI #26R & RFI 233.1 Smoke Vent & Detail SK-069.1 Extent	5/10/22	Course of Construction	Open	JLA	5/15/22	Yes	17
366	S-C Grilles for FCU Level 3 Poject Area	5/10/22	Coordination	Open	JLA	5/15/22	Yes	17
367	Displacement Air Outlets & Inlets Clarification	5/10/22	Course of Construction	Open	JLA	5/15/22	Yes	17
370	Core C Canopy Embeds mislocated	5/12/22	Course of Construction	Open	JLA	5/17/22	Yes	15
371	Curb/ Stair wall at Sloped Skylight	5/12/22	Course of Construction	Open	JLA	5/17/22	Yes	15
373	Phenolic Panel Change in Thickness	5/13/22	Course of Construction	Open	JLA	5/18/22	Yes	14
375	Plumbing in Locations of Future Photovoltaic	5/17/22	Coordination	Open	JLA	5/22/22	Yes	10
376	Dichoric Film types and locations	5/17/22	Pre-Construction	Open	JLA	5/22/22	Yes	10
379	Mezzanine Guardrail Attachment	5/17/22	Course of Construction	Open	JLA	5/24/22	Yes	8
381	E43 Window Type Head Height	5/20/22	Pre-Construction	Open	JLA	5/25/22	Yes	7
384	Paint Colors PT-21, PT-22, PT-23 & PT-24 and Color Locations	5/26/22	Course of Construction	Open	JLA	5/31/22	Yes	1
386	South Elevation Window Size Issues	5/26/22	Course of Construction	Open	JLA	5/31/22	Yes	1
387	Tapered Insulation Comments 1-2 /Questions 1-5	5/26/22	Course of Construction	Open	JLA	5/31/22	Yes	1
388	Kiln Location to Match Exhaust	5/31/22	Coordination	Open	JLA	6/5/22	No	-4



End of Month Project Submittal Summary



Title	Spec Section Number	Number	Revision	Type	Responsible Contractor	Ball In Court	Date Sent To Ball In Court	Final Due Date	Overdue	Days Overdue	Status
Product Data - Clips and Anchorage Devices for Gratings	05 53 00	001	0	Product Data	United Steel, Inc.	JLA	5/3/2022	5/17/22	Yes	15	Pending Review
LEED - Glazing	08 80 00	20	0	LEED	Kapiloff's Glass, Inc.	JLA	5/5/2022	5/19/22	Yes	13	Pending Review
REV 1-Pre-cast Shop Drawings	03 45 00	005	1	Shop Drawing	Fernandes Masonry, Inc.	JLA		5/25/22	Yes	7	Pending Review
Pressure Treated Roof Blocking & Fasteners - Product Data	06 10 53	1	0	Product Data	Central Ceilings Inc	JLA	5/3/2022	5/17/22	Yes	15	Pending Review
REV 1-Series 100 Storefront Shop Drawings	08 41 13	011	1	Shop Drawing	Salem Glass Company	JLA	5/31/2022	6/14/22	No		Pending Review
Shop Drawing - SD-6 - Counters	06 40 23	006	0	Shop Drawing	Polybois Inc	JLA	5/5/2022	5/19/22	Yes	13	Pending Review
SD-7 - Classroom Casework Level 1 & 2 - Shops	06 40 23	007	0	Shop Drawing	Polybois Inc	JLA	5/16/2022	5/30/22	Yes	2	Pending Review
Shop Drawing - SD-8 - Paneling - Device Mounting	06 40 23	008	0	Shop Drawing	Polybois Inc	JLA	5/16/2022	5/30/22	Yes	2	Pending Review
Shop Drawing-SD-9- Adjustable Shelving	06 40 23	009	0	Shop Drawing	Polybois Inc	JLA	5/17/2022	5/31/22	Yes	1	Pending Review
Shop Drawing - SD-11-Locker Cubbies & Locker Enclosures	06 40 23	011	0	Shop Drawing	Polybois Inc	JLA	5/17/2022	5/31/22	Yes	1	Pending Review
Shop Drawing - SD-12-Teacher Planning Shelves & Counters	06 40 23	012	0	Shop Drawing	Polybois Inc	JLA	5/17/2022	5/31/22	Yes	1	Pending Review
REV 1-Project Terrace Rail Shop Drawings	05 50 00	11	1	Shop Drawing		JLA	5/16/2022		No	2	Pending Review
Shop Drawing - SD-13 - Casework - Handwash & Trash Station	06 40 23	013	0	Shop Drawing	Polybois Inc	JLA	5/24/2022	6/7/22	No		Pending Review
Shop Drawing - SD-14 - Paneling - Conference Room	06 40 23	014	0	Shop Drawing	Polybois Inc	JLA	5/24/2022	6/7/22	No		Pending Review
REV 1-Westbourne Terrace Rails - Shop Drawings	05 50 00	17	1	Shop Drawing		JLA	5/16/2022	5/30/22	Yes	2	Pending Review
Shop drawing - SD-15 - Casework - Science Prep Areas	06 40 23	015	0	Shop Drawing	Polybois Inc	JLA	5/24/2022	6/7/22	No		Pending Review
Shop drawing - SD-16 - Casework - Lab Areas	06 40 23	016	0	Shop Drawing	Polybois Inc	JLA	5/25/2022	6/8/22	No		Pending Review
Shop drawing - SD-17 - Marker Trays	06 40 23	017	0	Shop Drawing	Polybois Inc	JLA	5/25/2022	6/8/22	No		Pending Review
Shop drawing - SD-18 - Free Standing Interior Benches	06 40 23	018	0	Shop Drawing	Polybois Inc	JLA	5/26/2022	6/9/22	No		Pending Review
REV 1-Saw Cut Plan- Area C Level 0	03 30 00	049	1	Shop Drawing	Marquette Concrete Contractors, Inc	JLA	5/24/2022	6/7/22	No		Pending Review
Shop drawing - SD-19 - Casework - Mail & Copy	06 40 23	021	0	Shop Drawing	Polybois Inc	JLA	5/26/2022	6/9/22	No		Pending Review
Shop drawing - SD-20 - Casework - Art Room	06 40 23	022	0	Shop Drawing	Polybois Inc	JLA	5/26/2022	6/9/22	No		Pending Review
Shops- SD-21 - Exterior Entry Bench	06 40 23	023	0	Shop Drawing	Polybois Inc	JLA	5/31/2022	6/14/22	No		Pending Review
REV 1-Steel Sequence 219 Package	05 12 00	064	1	Shop Drawing	Supermetal Structures Inc.	JLA	5/24/2022	6/7/22	No		Pending Review
Shops- SD-22 - Wood Door Frame and Casing	06 40 23	024	0	Shop Drawing	Polybois Inc	JLA	5/27/2022	6/10/22	No		Pending Review
Shop drawing - SD-23 - Interior Window Frames	06 40 23	025	0	Shop Drawing	Polybois Inc	JLA	5/31/2022	6/14/22	No		Pending Review
REV 2-MEP penetrations in foundation walls - A B and C	03 30 00	044	2	Coordination Drawing	Gilbane Building Company	JLA	5/11/2022	5/25/22	Yes	7	Pending Review
REV 2-Sample-Toilet Partitions	10 21 13	3	2	Sample	Manganaro Northeast LLC	JLA	5/5/2022	5/13/22	Yes	19	Pending Review
Roof Penetration Housing	07 72 00	4	0	Sample	JD Rivet & Company Incorporated	JLA	5/18/2022	6/1/22	No	0	Pending Review
Kitchen Walk-in Cooler/Freezer	11 40 00	1.6.1	1	Shop Drawing	Kittredge Equipment Co	JLA	5/5/2022	5/23/22	Yes	9	Pending Review
Shop drawings SD-24 Display Cases	06 40 23	028	0	Shop Drawing	Polybois Inc	JLA	5/31/2022	6/14/22	No		Pending Review
REV 3-Rebar - Level 3, 4, & Roof SOD	03 30 00	032	3	Shop Drawing	Marquette Concrete Contractors, Inc	JLA	5/11/2022	5/25/22	Yes	7	Pending Review
Carlisle High-Temperature Underlayment Materials- Product Data	07 62 00	2	1	Product Data	JD Rivet & Company Incorporated	JLA	5/17/2022	5/31/22	Yes	1	Pending Review
07 72 00-1 REV 1 Bilco Smoke Vent S-50SVTB Product Data	07 72 00	1	1	Product Data	JD Rivet & Company Incorporated	JLA	5/13/2022	5/27/22	Yes	5	Pending Review
077200 2.9- Roof Accessories- Roof Anchor System	07 72 00	2.9	0	Product Data	JD Rivet & Company Incorporated	JLA	5/18/2022	6/1/22	No	0	Pending Review
Coordination- Level 1 Slab Penetrations	03 30 00	051	2	Coordination Drawing	Gilbane Building Company	JLA	5/13/2022	6/10/22	No		Pending Review
07 72 00 2.8- Roof Accessories- Equipment Support	07 72 00	5	0	Product Data	JD Rivet & Company Incorporated	JLA	5/18/2022	6/1/22	No	0	Pending Review
Sheet Metal Flashing-Roof Edge Flashings Product Data	07 62 00	3	0	Product Data	JD Rivet & Company Incorporated	JLA	5/18/2022	6/1/22	No	0	Pending Review
REV 3-Shop Drawing- Rebar Level 0	03 30 00	018	3	Shop Drawing	Marquette Concrete Contractors, Inc	JLA	5/17/2022	5/31/22	Yes	1	Pending Review
REV 4-Rebar Shop Drawing - Level 1 SOG, SOD & LOADING DOCK	03 30 00	028	4	Shop Drawing	Marquette Concrete Contractors, Inc	JLA	5/25/2022	6/8/22	No		Pending Review
REV 1-Coordination- Level 3- Slab Penetration	03 30 00	054	1	Coordination Drawing	Gilbane Building Company	JLA	5/25/2022	6/8/22	No		Pending Review
Sheet Metal Flashing-Color Samples for Fascia	07 62 00	4	0	Sample	JD Rivet & Company Incorporated	JLA	5/18/2022	6/1/22	No	0	Pending Review
LEED- SWPP Report 5-5-22 & 5-17-22	01 57 13.13	13	0	LEED	J. Derenzo Company	JLA	5/20/2022	5/31/22	Yes	1	Pending Review
REV 5-Rebar Shop Drawing - Level 2 SOD	03 30 00	027	5	Shop Drawing	Marquette Concrete Contractors, Inc	JLA	5/24/2022	6/7/22	No		Pending Review
REV 1-Area C- Pour Sequence	03 30 00	056	1	Shop Drawing	Marquette Concrete Contractors, Inc	JLA	5/25/2022	6/8/22	No		Pending Review
REV 3-Wheelchair Lift (FINAL PERMIT SET) Resubmittal for Engineer Stamp	14 42 00	1	3	Shop Drawing	Delta Elevator Service Corporation	JLA	5/27/2022	6/10/22	No		Pending Review
Elevator Fixture Shop Drawing	14 21 43	003	0	Shop Drawing	Delta Elevator Service Corporation	JLA	5/27/2022	6/10/22	No		Pending Review



End of Month Project Photo Summary



Description

Taken Date

05/31/2022 at 11:40 am

Uploaded By

Derek Ullman

Upload Date

05/31/2022 at 12:15 pm

File Name

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Description

Taken Date

05/31/2022 at 11:28 am

Uploaded By

Derek Ullman

Upload Date

05/31/2022 at 12:12 pm

File Name

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Description

Taken Date

05/31/2022 at 11:29 am

Uploaded By

Derek Ullman

Upload Date

05/31/2022 at 12:13 pm

File Name

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Description

Taken Date

05/31/2022 at 11:28 am

Uploaded By

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05/31/2022 at 12:12 pm

File Name

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Description

Taken Date

05/31/2022 at 11:27 am

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Upload Date

05/31/2022 at 12:12 pm

File Name

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Description

Taken Date

05/31/2022 at 09:06 am

Uploaded By

Tristan Bezzant

Upload Date

05/31/2022 at 09:06 am

File Name

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Description

Core B footing excavation

Taken Date

05/31/2022 at 10:49 am

Uploaded By

Tristan Bezzant

Upload Date

05/31/2022 at 10:49 am

File Name

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Description

Taken Date

05/31/2022 at 07:37 am

Uploaded By

Tristan Bezzant

Upload Date

05/31/2022 at 07:39 am

File Name

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Description

Taken Date

05/31/2022 at 07:37 am

Uploaded By

Tristan Bezzant

Upload Date

05/31/2022 at 07:37 am

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Description

Taken Date

05/27/2022 at 11:32 am

Uploaded By

Tristan Bezzant

Upload Date

05/27/2022 at 11:33 am

File Name

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Description

Taken Date

05/27/2022 at 11:33 am

Uploaded By

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Upload Date

05/27/2022 at 11:34 am

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Description

Taken Date

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Uploaded By

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Upload Date

05/27/2022 at 11:32 am

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Description

Taken Date

05/27/2022 at 11:32 am

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Upload Date

05/27/2022 at 11:32 am

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Description

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05/27/2022 at 11:20 am

Uploaded By

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Upload Date

05/27/2022 at 11:20 am

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Description

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05/27/2022 at 11:31 am

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05/27/2022 at 11:20 am

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05/27/2022 at 11:20 am

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05/27/2022 at 10:30 am

Uploaded By

Tristan Bezzant

Upload Date

05/27/2022 at 10:31 am

File Name

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Description

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05/27/2022 at 10:30 am

Uploaded By

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Upload Date

05/27/2022 at 10:30 am

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Description

Taken Date

05/27/2022 at 10:30 am

Uploaded By

Tristan Bezzant

Upload Date

05/27/2022 at 10:30 am

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Description

Stone at ramp wall

Taken Date

05/27/2022 at 10:22 am

Uploaded By

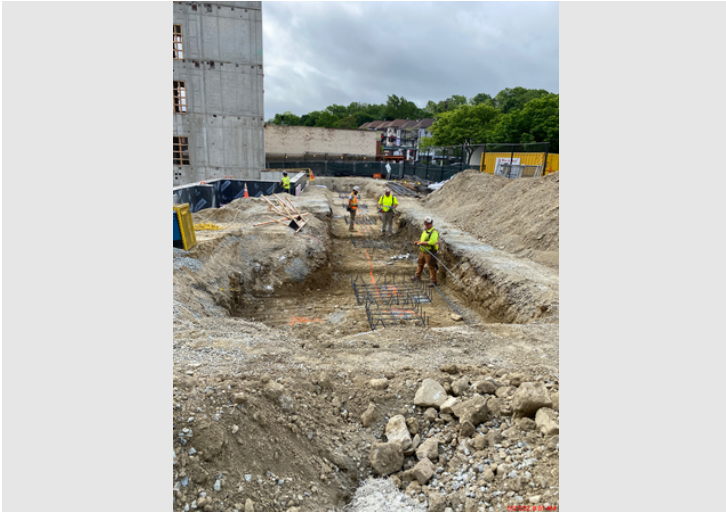
Lucas Seifert

Upload Date

05/27/2022 at 10:22 am

File Name

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Description

A footings rebar

Taken Date

05/27/2022 at 08:51 am

Uploaded By

Lucas Seiferth

Upload Date

05/27/2022 at 08:51 am

File Name

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Description

C25 walls

Taken Date

05/26/2022 at 01:43 pm

Uploaded By

Lucas Seiferth

Upload Date

05/26/2022 at 01:43 pm

File Name

343868B1-AC1F-468A-B5BE-21E1...



Description

Ramp wall foundation waterproofing

Taken Date

05/26/2022 at 10:50 am

Uploaded By

Lucas Seiferth

Upload Date

05/26/2022 at 10:51 am

File Name

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Description

AD line footing

Taken Date

05/26/2022 at 07:52 am

Uploaded By

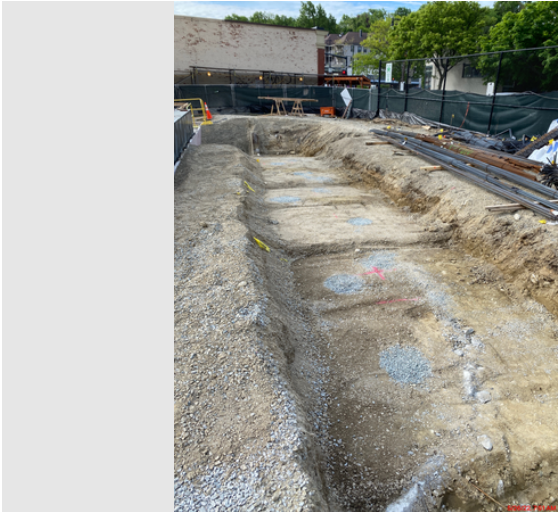
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Upload Date

05/26/2022 at 07:52 am

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Description
AD line footing

Taken Date
05/26/2022 at 07:51 am

Uploaded By
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Upload Date
05/26/2022 at 07:51 am

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Description
AD line footing

Taken Date
05/26/2022 at 07:50 am

Uploaded By
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Upload Date
05/26/2022 at 07:50 am

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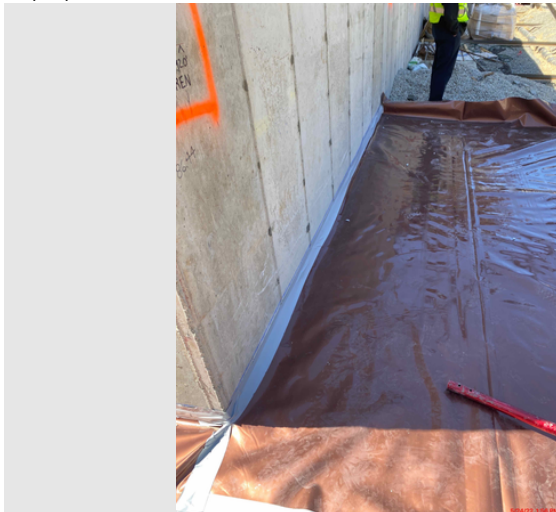
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Footings at A along Washington

Taken Date
05/25/2022 at 01:20 pm

Uploaded By
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05/25/2022 at 01:20 pm

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Description

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05/24/2022 at 01:56 pm

Uploaded By
Tristan Bezzant

Upload Date
05/24/2022 at 01:56 pm

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Description

Taken Date

05/24/2022 at 01:56 pm

Uploaded By

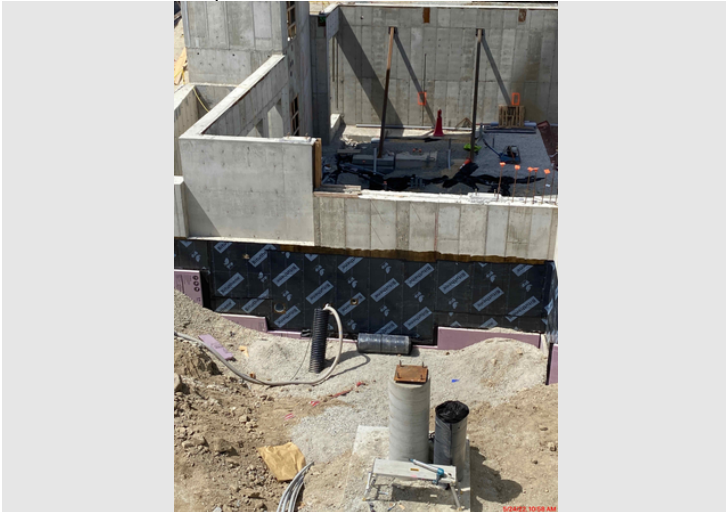
Tristan Bezzant

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05/24/2022 at 01:56 pm

File Name

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Description

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05/24/2022 at 10:58 am

Uploaded By

Tristan Bezzant

Upload Date

05/24/2022 at 10:58 am

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Description

Taken Date

05/24/2022 at 01:56 pm

Uploaded By

Tristan Bezzant

Upload Date

05/24/2022 at 01:56 pm

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Description

Taken Date

05/24/2022 at 10:57 am

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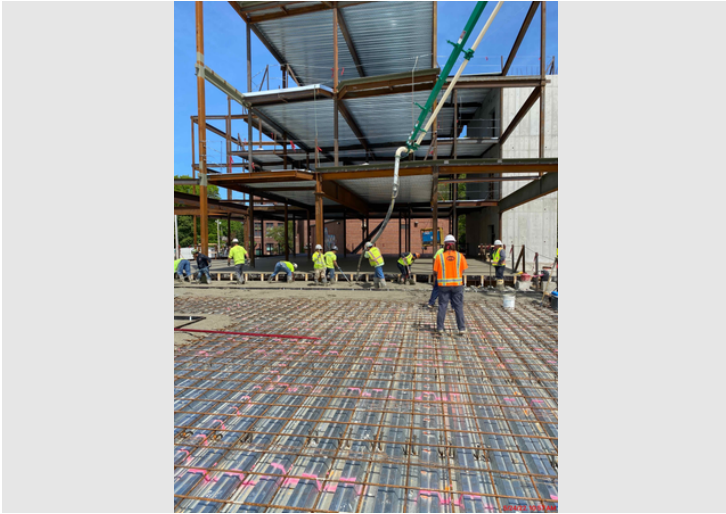
Tristan Bezzant

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Description

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05/24/2022 at 10:57 am

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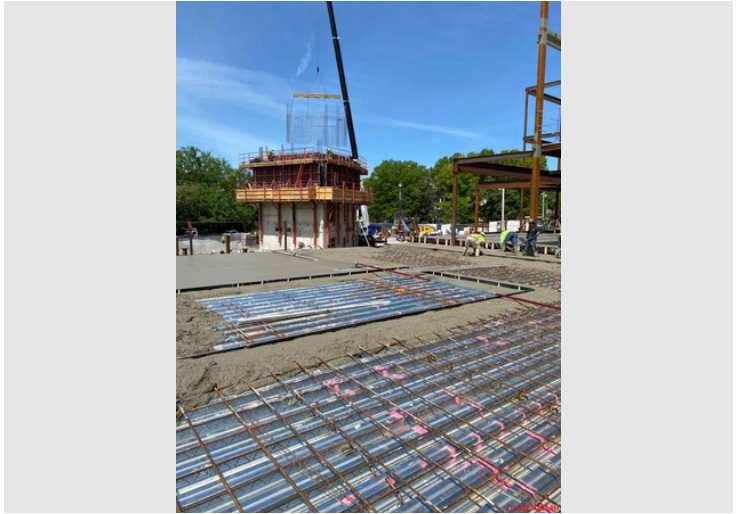
Tristan Bezzant

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05/24/2022 at 10:57 am

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Description

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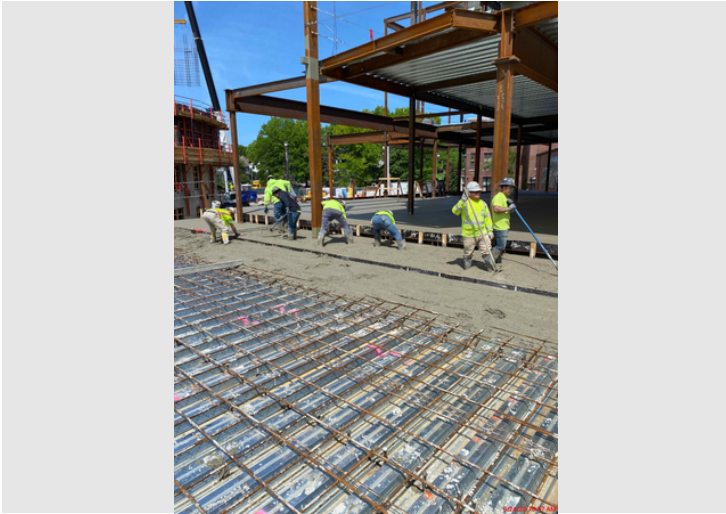
Tristan Bezzant

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05/24/2022 at 10:57 am

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Tristan Bezzant

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Description

Taken Date

05/24/2022 at 08:54 am

Uploaded By

Tristan Bezzant

Upload Date

05/24/2022 at 09:03 am

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Description

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05/20/2022 at 01:51 pm

Uploaded By

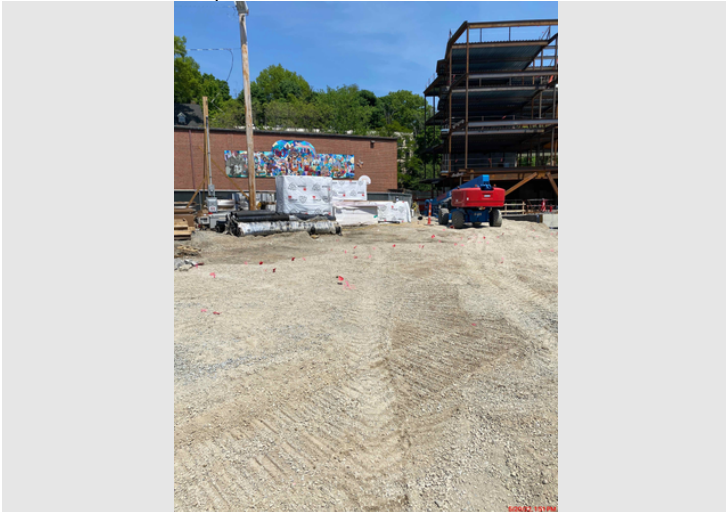
Tristan Bezzant

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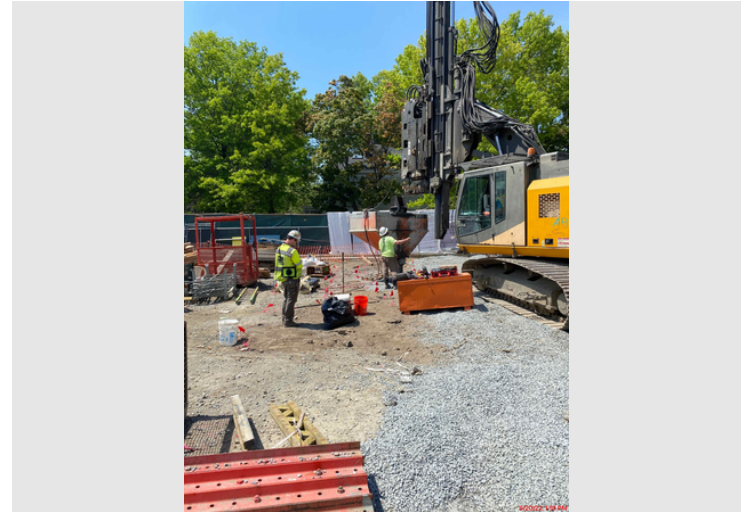
Tristan Bezzant

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05/20/2022 at 01:51 pm

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Description

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05/20/2022 at 01:51 pm

Uploaded By

Tristan Bezzant

Upload Date

05/20/2022 at 01:51 pm

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Description

Taken Date

05/20/2022 at 01:51 pm

Uploaded By

Tristan Bezzant

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End of Month Project Manpower and Safety Report



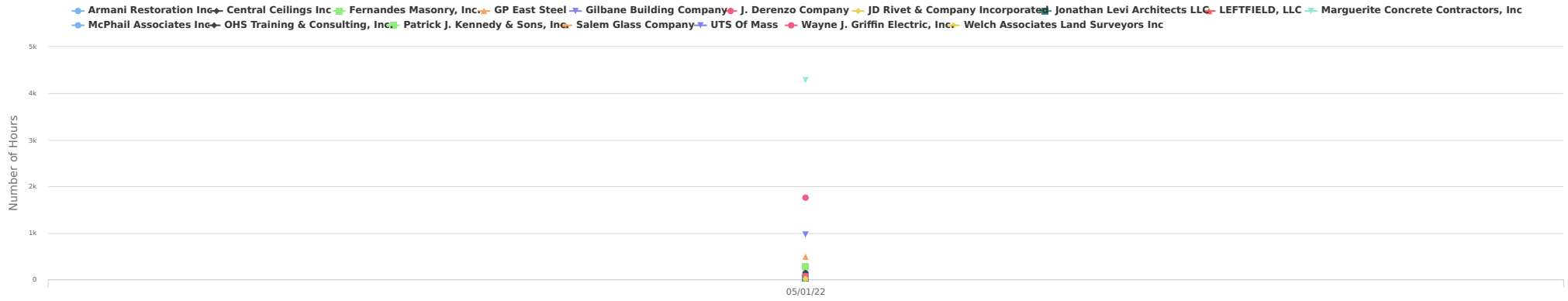
Gilbane Building Company
 10 Channel Center Street Suite 100
 Boston, Massachusetts 02210
 United States

Printed on Thu Jun 2, 2022 at 03:22 pm EDT

Job #: J08864.000 Michael Driscoll School - Brookline
 725 Washington Street
 Brookline Massachusetts. 02446

Daily Log Manpower Report

Manpower Graph

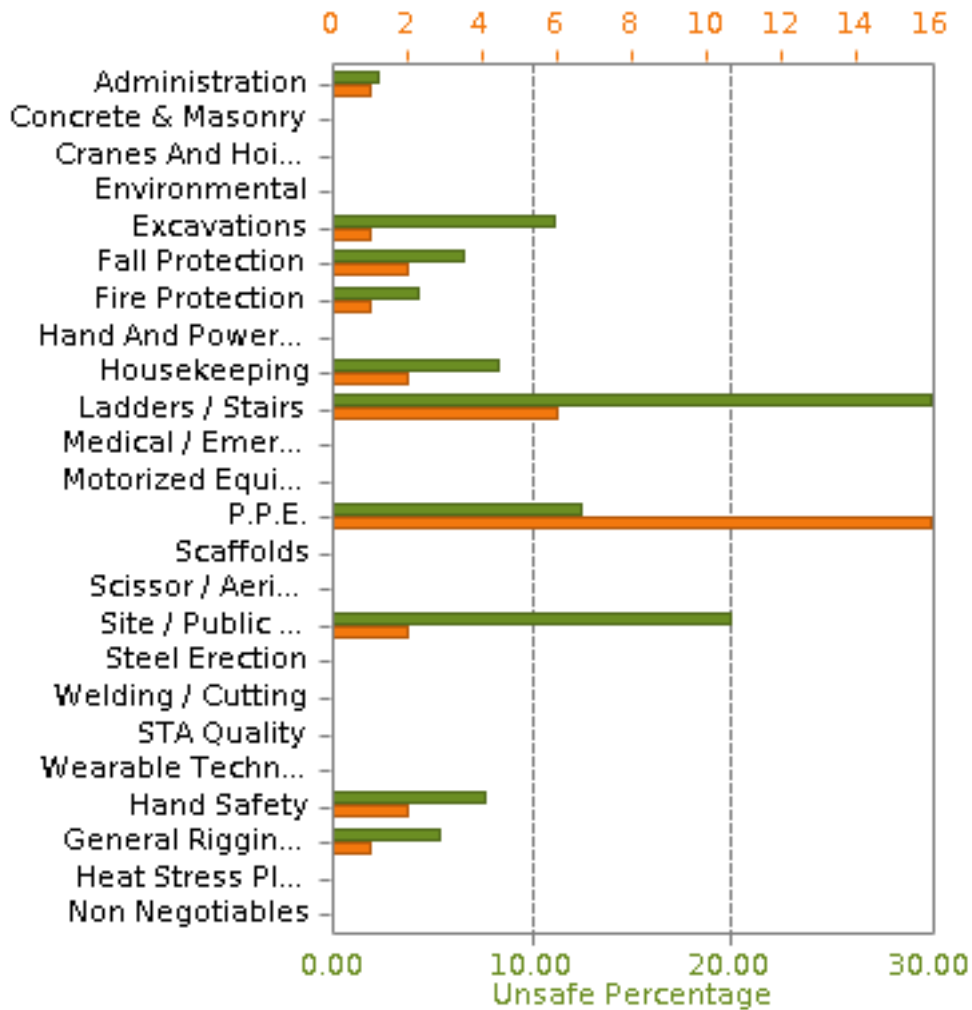


Date	Company	Total Hours
05/01/22	Armani Restoration Inc	144.0
05/01/22	Central Ceilings Inc	24.0
05/01/22	Fernandes Masonry, Inc.	78.0
05/01/22	GP East Steel	488.0
05/01/22	Gilbane Building Company	964.0
05/01/22	J. Derenzo Company	1,756.0
05/01/22	JD Rivet & Company Incorporated	16.0
05/01/22	Jonathan Levi Architects LLC	28.0
05/01/22	LEFTFIELD, LLC	160.0
05/01/22	Marguerite Concrete Contractors, Inc	4,283.0
05/01/22	McPhail Associates Inc	56.0
05/01/22	OHS Training & Consulting, Inc.	144.0
05/01/22	Patrick J. Kennedy & Sons, Inc.	272.0
05/01/22	Salem Glass Company	32.0
05/01/22	UTS Of Mass	60.0
05/01/22	Wayne J. Griffin Electric, Inc.	68.0
05/01/22	Welch Associates Land Surveyors Inc	16.0
05/01/22	Subtotal:	8,589.0
	Total:	8,589.0

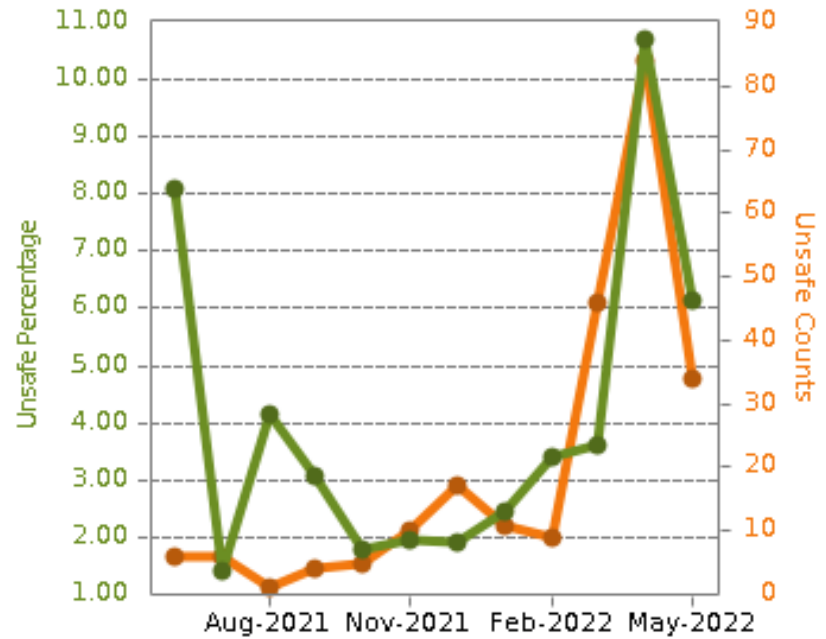
Summary Report - Basic

Summary

Unsafe Counts and Percent Per Category



Unsafe Monthly Trend For Past Year



Summary Report - Basic

Inspection Type	Inspections	Observations	Unsafe Conditions	% Safe *[W]	Unsafe Conditions - Severity			
					Low	Medium	High	Life Threat
Safety	14	555	34	85.8%	11	20	3	0
Inspection Type	Inspections	Observations	Unsafe Conditions	% Safe *[W]	Unsafe Conditions - Severity			
					Low	Medium	High	Life Threat
Summary	14	555	34	85.8%	11	20	3	0

Summary Report - Basic

Details									
Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
Administration	Summary	43	1	42	93.3%	0	1	0	0
	CAZ established in accordance to work requirements	2	1	1	25.0%	0	1	0	0
	Competent person ID'ed/present	3	0	3	100.0%	0	0	0	0
	Document pre-const mtgs	2	0	2	100.0%	0	0	0	0
	Drug Testing program	16	0	16	100.0%	0	0	0	0
	JHA submitted each trade	3	0	3	100.0%	0	0	0	0
	OSHA Posters / OSHA 300 Log	1	0	1	100.0%	0	0	0	0
	Project team SafetyNet Expectation met	1	0	1	100.0%	0	0	0	0
	SDS manual	3	0	3	100.0%	0	0	0	0
	Safety manual	5	0	5	100.0%	0	0	0	0
	Safety meetings	2	0	2	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	State / Fed posters (Eng/Sp)	1	0	1	100.0%	0	0	0	0
	Visitor PPE available	2	0	2	100.0%	0	0	0	0
	Visitor sign-in form	2	0	2	100.0%	0	0	0	0
Concrete & Masonry	Summary	12	0	12	100.0%	0	0	0	0
	2nd tier block cubes need secured from displacement	9	0	9	100.0%	0	0	0	0
	Rebar caps	3	0	3	100.0%	0	0	0	0
Cranes And Hoisting Equipment	Summary	45	0	45	100.0%	0	0	0	0
	20 ft from powerline/deenergized	2	0	2	100.0%	0	0	0	0
	3rd party Annual Inspection current	2	0	2	100.0%	0	0	0	0
	Crane Level	6	0	6	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Crane supported/Blocked per ground conditions	2	0	2	100.0%	0	0	0	0
	Elev/Hoist capacity posted	1	0	1	100.0%	0	0	0	0
	Fall zone restricted/barricaded	4	0	4	100.0%	0	0	0	0
	Fire extinguisher in crane	3	0	3	100.0%	0	0	0	0
	Gilbane Crane lift plan on file	3	0	3	100.0%	0	0	0	0
	Operator Certif. on file	4	0	4	100.0%	0	0	0	0
	Outriggers extended per mfr reqts	5	0	5	100.0%	0	0	0	0
	Personnel basket tested	2	0	2	100.0%	0	0	0	0
	Preshift/Mthly Equip inspections on file	1	0	1	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Safety devices working	3	0	3	100.0%	0	0	0	0
	Swing radius barricaded	6	0	6	100.0%	0	0	0	0
	Underground hazards identified/communicated	1	0	1	100.0%	0	0	0	0
Environmental	Summary	1	0	1	100.0%	0	0	0	0
	Spill kits adequate/available	1	0	1	100.0%	0	0	0	0
Excavations	Summary	9	1	8	88.9%	1	0	0	0
	Access with 25'	2	0	2	100.0%	0	0	0	0
	Competent person present	1	0	1	100.0%	0	0	0	0
	Excav > 20' engineered	1	0	1	100.0%	0	0	0	0
	Perimeter prot/barricade	1	0	1	100.0%	0	0	0	0
	Sloped, benched, or shored	1	0	1	100.0%	0	0	0	0
	Spoil 2' from edge	2	1	1	50.0%	1	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Water entering excavation	1	0	1	100.0%	0	0	0	0
Fall Protection	Summary	31	2	29	74.4%	0	0	2	0
	Anchorage points eng'rd/doc's	1	0	1	100.0%	0	0	0	0
	Ext/int guardrails	4	0	4	100.0%	0	0	0	0
	Fall protection at 6'	7	1	6	54.5%	0	0	1	0
	Fall protection plan	2	0	2	100.0%	0	0	0	0
	Floor/wall opening protected	2	0	2	100.0%	0	0	0	0
	Flr covrs adeq,secure,label	1	1	0	0.0%	0	0	1	0
	Harness and Lanyard inspected	7	0	7	100.0%	0	0	0	0
	Leading Edge Certified Retractable	4	0	4	100.0%	0	0	0	0
	Harness /Lanyard used properly	3	0	3	100.0%	0	0	0	0
Fire Protection	Summary	23	1	22	88.0%	0	1	0	0
	Ext charged and inspected	2	0	2	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	FD Connect marked/unobstructed	9	1	8	72.7%	0	1	0	0
	Fire suppression equip avail	2	0	2	100.0%	0	0	0	0
	Fire watch when applicable	6	0	6	100.0%	0	0	0	0
	Hot work permits	2	0	2	100.0%	0	0	0	0
	Prop signs in store areas	1	0	1	100.0%	0	0	0	0
	Proper fuel containers used	1	0	1	100.0%	0	0	0	0
Hand And Power Tools	Summary	14	0	14	100.0%	0	0	0	0
	Cord in good condition	3	0	3	100.0%	0	0	0	0
	Double Insulated tool	3	0	3	100.0%	0	0	0	0
	Ground prong in place	2	0	2	100.0%	0	0	0	0
	Guards in place	1	0	1	100.0%	0	0	0	0
	Proper tool for the job	2	0	2	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Tool in good condition	3	0	3	100.0%	0	0	0	0
Housekeeping	Summary	24	2	22	84.6%	1	1	0	0
	Adeq numb of port. toilets	13	0	13	100.0%	0	0	0	0
	Clear access to bldg/site	3	1	2	40.0%	0	1	0	0
	Egress paths clear	2	0	2	100.0%	0	0	0	0
	Impalement protection	1	1	0	0.0%	1	0	0	0
	Proper material storage	1	0	1	100.0%	0	0	0	0
	Proper work station set-up	1	0	1	100.0%	0	0	0	0
	Roadway around proj clear	1	0	1	100.0%	0	0	0	0
	Trash in protected cont	2	0	2	100.0%	0	0	0	0
Ladders / Stairs	Summary	20	6	14	50.0%	2	4	0	0
	3' above landing	3	0	3	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Ladders for temp access has a 4:1 pitch and 3' above landing/secured	4	1	3	50.0%	0	1	0	0
	Landings and treads filled	1	0	1	100.0%	0	0	0	0
	Podium ladders utilized	6	4	2	16.7%	1	3	0	0
	Rails at stairs/landings	2	0	2	100.0%	0	0	0	0
	Stair/ scaffold inspected	4	1	3	75.0%	1	0	0	0
Medical / Emergency	Summary	12	0	12	100.0%	0	0	0	0
	AED on site/pads and batteries current	1	0	1	100.0%	0	0	0	0
	1st Aid/CPR on site	2	0	2	100.0%	0	0	0	0
	Coordination w/EMS	4	0	4	100.0%	0	0	0	0
	Emergency numbers posted	2	0	2	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Emergency procs supplies	1	0	1	100.0%	0	0	0	0
	Eye wash	1	0	1	100.0%	0	0	0	0
	Map to medical facility	1	0	1	100.0%	0	0	0	0
Motorized Equipment - Gator, 4x4, or ATV (All-Terrain Vehicle)	Summary	6	0	6	100.0%	0	0	0	0
	Back up alarm functioning	1	0	1	100.0%	0	0	0	0
	Flagman used if applicable	1	0	1	100.0%	0	0	0	0
	Flashing beacon/ flags utilized	1	0	1	100.0%	0	0	0	0
	Horn functioning	1	0	1	100.0%	0	0	0	0
	Operator appears competent	1	0	1	100.0%	0	0	0	0
	Seat belts used	1	0	1	100.0%	0	0	0	0
P.P.E.	Summary	128	16	112	74.7%	5	11	0	0
	Cut 4 Gloves worn	34	4	30	78.9%	2	2	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Face Shields (overhead work/ cutting block and metal studs)	30	8	22	52.4%	2	6	0	0
	Hard Hats	31	1	30	90.9%	0	1	0	0
	Hearing protection	2	0	2	100.0%	0	0	0	0
	High visibility vest	22	2	20	76.9%	0	2	0	0
	Metatarsal protection	1	0	1	100.0%	0	0	0	0
	Respirators	1	0	1	100.0%	0	0	0	0
	Work Boots [inactive]	7	1	6	85.7%	1	0	0	0
Scaffolds	Summary	4	0	4	100.0%	0	0	0	0
	Bracing and pins in place	1	0	1	100.0%	0	0	0	0
	Competent person present	1	0	1	100.0%	0	0	0	0
	Grdrls instll on Baker at 4'	1	0	1	100.0%	0	0	0	0
	Surface in safe condition	1	0	1	100.0%	0	0	0	0
Scissor / Aerial Lifts	Summary	8	0	8	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Equipment loaded properly	1	0	1	100.0%	0	0	0	0
	Fall Protection in lift to manufactures anchor point	2	0	2	100.0%	0	0	0	0
	Gate or chain secured	2	0	2	100.0%	0	0	0	0
	Operating on flat surface	2	0	2	100.0%	0	0	0	0
	Safe work distances	1	0	1	100.0%	0	0	0	0
Site / Public Protection	Summary	10	2	8	57.1%	1	0	1	0
	Adequate lighting	1	0	1	100.0%	0	0	0	0
	Barricades installed properly	2	1	1	50.0%	1	0	0	0
	Excavations protected	1	0	1	100.0%	0	0	0	0
	Falling object protection	3	1	2	28.6%	0	0	1	0
	Perimeter fences	1	0	1	100.0%	0	0	0	0
	Public protection signage	1	0	1	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Traffic Control plan	1	0	1	100.0%	0	0	0	0
Steel Erection	Summary	31	0	31	100.0%	0	0	0	0
	2 bolts per connection	7	0	7	100.0%	0	0	0	0
	Adequate site conditions	2	0	2	100.0%	0	0	0	0
	Anchorage points meet req	1	0	1	100.0%	0	0	0	0
	CDZ training / utilized	1	0	1	100.0%	0	0	0	0
	Concrete @ 75%	4	0	4	100.0%	0	0	0	0
	Decking secured	5	0	5	100.0%	0	0	0	0
	Erector notif of modification	1	0	1	100.0%	0	0	0	0
	Falling object protection	1	0	1	100.0%	0	0	0	0
	Mult lift proced utilized	3	0	3	100.0%	0	0	0	0
	Proper erection plan	6	0	6	100.0%	0	0	0	0
Welding / Cutting	Summary	30	0	30	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Bottles upright/cap/secure d	4	0	4	100.0%	0	0	0	0
	Combustible/flam mable items protected	3	0	3	100.0%	0	0	0	0
	Fire ext present	5	0	5	100.0%	0	0	0	0
	Fire watch present at all location where fire can make contact	4	0	4	100.0%	0	0	0	0
	Leads in good condition	4	0	4	100.0%	0	0	0	0
	Prop PPE in use	4	0	4	100.0%	0	0	0	0
	Torch hoses good cond	2	0	2	100.0%	0	0	0	0
	Weld machine ventilated	3	0	3	100.0%	0	0	0	0
	Welding boots	1	0	1	100.0%	0	0	0	0
STA Quality	Summary	7	0	7	100.0%	0	0	0	0
	STA prepared at the work location	1	0	1	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	STA signed by all crew members prior to beginning work	1	0	1	100.0%	0	0	0	0
	Job tasks clearly identified	1	0	1	100.0%	0	0	0	0
	STA includes specific hazards for each task	1	0	1	100.0%	0	0	0	0
	Control steps being followed	1	0	1	100.0%	0	0	0	0
	STA reviewed as conditions change	1	0	1	100.0%	0	0	0	0
	Crew knowledgeable of hazards and controls	1	0	1	100.0%	0	0	0	0
Wearable Technology	Summary	2	0	2	100.0%	0	0	0	0
	Clip worn at waist level	2	0	2	100.0%	0	0	0	0
Hand Safety	Summary	26	2	24	85.7%	1	1	0	0
	Hands placed out of line of fire	1	0	1	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Hands not in Pinch Points	2	0	2	100.0%	0	0	0	0
	Guards/barriers in place	3	0	3	100.0%	0	0	0	0
	Eyes on task	1	0	1	100.0%	0	0	0	0
	Correct gloves for task	11	1	10	90.9%	1	0	0	0
	Hands off load	2	1	1	25.0%	0	1	0	0
	Good grips on tools	3	0	3	100.0%	0	0	0	0
	No Wet/slippery/oily conditions	1	0	1	100.0%	0	0	0	0
	Taglines utilized	2	0	2	100.0%	0	0	0	0
General Rigging/Hoisting	Summary	19	1	18	85.7%	0	1	0	0
	Proper rigging plan	3	0	3	100.0%	0	0	0	0
	Designated rigging/Lifting points	2	0	2	100.0%	0	0	0	0
	Anchorage / Structure will support load	1	0	1	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Rigging inspected/rated	1	0	1	100.0%	0	0	0	0
	Capacity tags attached/legible	1	0	1	100.0%	0	0	0	0
	Proper use of rigging	1	0	1	100.0%	0	0	0	0
	Riggers trained/certified	2	0	2	100.0%	0	0	0	0
	Signalperson trained/certified	4	0	4	100.0%	0	0	0	0
	Chain Falls inspected /rated	1	0	1	100.0%	0	0	0	0
	Rollers inspected /rated	1	0	1	100.0%	0	0	0	0
	Winches/Tuggers inspected and properly mounted	1	0	1	100.0%	0	0	0	0
	Safety latches functioning	1	1	0	0.0%	0	1	0	0
Heat Stress Plans and Compliance:	Summary	5	0	5	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Clean, Fresh Water Sealed and Dated Readily Available	1	0	1	100.0%	0	0	0	0
	Disposable Single Drinking Cups Available	1	0	1	100.0%	0	0	0	0
	Shade and Rest Areas Established	2	0	2	100.0%	0	0	0	0
	Shade and Rest Area in Good Standing	1	0	1	100.0%	0	0	0	0
Non Negotiables	Summary	45	0	45	100.0%	0	0	0	0
	Safety briefing prior to work	2	0	2	100.0%	0	0	0	0
	6 " fall protection	8	0	8	100.0%	0	0	0	0
	Reflective vest (including interiors)	10	0	10	100.0%	0	0	0	0
	Drug & alcohol testing	10	0	10	100.0%	0	0	0	0
	New worker orientation	3	0	3	100.0%	0	0	0	0

Summary Report - Basic

Category	Sub-Category	Observations	Conditions		% Safe *[W]	Unsafe Conditions - Severity			
			Unsafe Conditions	Safe Conditions		Low	Medium	High	Life Threat
	Safety net inspections by all project teams members and px's	1	0	1	100.0%	0	0	0	0
	Stretch & flex daily by all	8	0	8	100.0%	0	0	0	0
	All visitors to sign in and out with Gilbane trailer	2	0	2	100.0%	0	0	0	0
	Short service worker program	1	0	1	100.0%	0	0	0	0

Summary Report - Basic

Criteria

Inspection Type:	All
Begin Date:	05/01/2022
End Date:	05/31/2022
Project(s):	Michael Driscoll School
Show	Category
Ordered By	Inspection Type: : Ascending
Show Chart By:	Count and Percentage



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DRISCOLL SCHOOL WEEKLY UPDATE



THIS WEEK'S PROGRESS

(May 2 – May 6)

- Level 2 walls at Core AB were poured.
- Waterproofing, backfilling and compaction continued along line AG (Washington St) and SA1 (the alley).
- Underground electrical and plumbing work was ongoing.
- The footing at line A1 (former temp ramp) was poured, and the wall was formed.
- The floor slab at level 1 Area C was poured.
- Structural steel installation was ongoing adjacent to the gym up to the roof level. The mezzanine was also erected, and decking was installed.
- Brick and glass were installed on the mock-up.
- Work is planned for Saturday 5/7/22.

PROJECT TRACKING:

Area C concrete slabs: 9%

Area C steel: 75%

ANTICIPATING NEXT WEEK

(May 9 – May 13)

- Steel deliveries and installation will continue.
- The final foundation wall at Area A will be poured.
- Decking in Area A will continue
- Second floor floor slab will be poured, Area C
- Underground electrical and plumbing work will continue.
- **The 'alley' will have intermittent construction traffic while work is ongoing. The existing 'No Parking' signs will be enforced.**
- **We do expect some work on Saturday May 14th.**

MILESTONE DATES:

- Structural Steel begins: 3/28/22
- Foundations complete: 6/21/22
- Structural Steel complete: 8/30/22

For Traffic Safety Enhancements and other project details, please visit the Project Website:

<https://www.brookline.k12.ma.us/Page/2353>



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DRISCOLL SCHOOL WEEKLY UPDATE



THIS WEEK'S PROGRESS

(May 9 – May 13)

- The final foundation wall at Area A was completed.
- Waterproofing, backfilling and compaction continued at several locations on site.
- Underground electrical and plumbing work was ongoing, with a partial plumbing inspection achieved.
- Core AB 3rd floor was formed.
- Structural steel installation was completed in Area C up to the roof level.
- Work is planned for Saturday 5/14/22.

PROJECT TRACKING:

Area C concrete slabs: 9%

Area C steel: 90%

ANTICIPATING NEXT WEEK

(May 16 – May 20)

- Steel decking at the roof level will be complete.
- The 3rd floor of Core AB will be poured, along with the mezzanine floor.
- Geopier installation will begin along Washington Street.
- Underground electrical and plumbing work will continue.
- **Site construction over the next 3 weeks will include work that will create some ground vibration which may be noticeable when adjacent to the site.**
- We do expect some work on Saturday May 21st.

MILESTONE DATES:

- Structural Steel begins: 3/28/22
- Foundations complete: 6/21/22
- Structural Steel complete: 8/30/22

For Traffic Safety Enhancements and other project details, please visit the Project Website:

<https://www.brookline.k12.ma.us/Page/2353>



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DRISCOLL SCHOOL WEEKLY UPDATE



THIS WEEK'S PROGRESS

(May 16 – May 20)

- Core AB 3rd level wall were poured
- Waterproofing, backfilling and compaction continued around the building.
- Underground electrical and plumbing work was ongoing, with a partial plumbing inspection achieved. The main ductbank conduit is 75% complete
- Geopier installation was ongoing along Washington St and adjacent to the construction trailer.
- The mechanical mezzanine slab was poured.
- Structural steel decking continued up to the roof level in Area C
- **No work is planned for Saturday 5/21/22.**

PROJECT TRACKING:

Area C concrete slabs: 9%

Area C steel: 95%

For Traffic Safety Enhancements and other project details, please visit the Project Website:

<https://www.brookline.k12.ma.us/Page/2353>

ANTICIPATING NEXT WEEK

(May 23 – May 27)

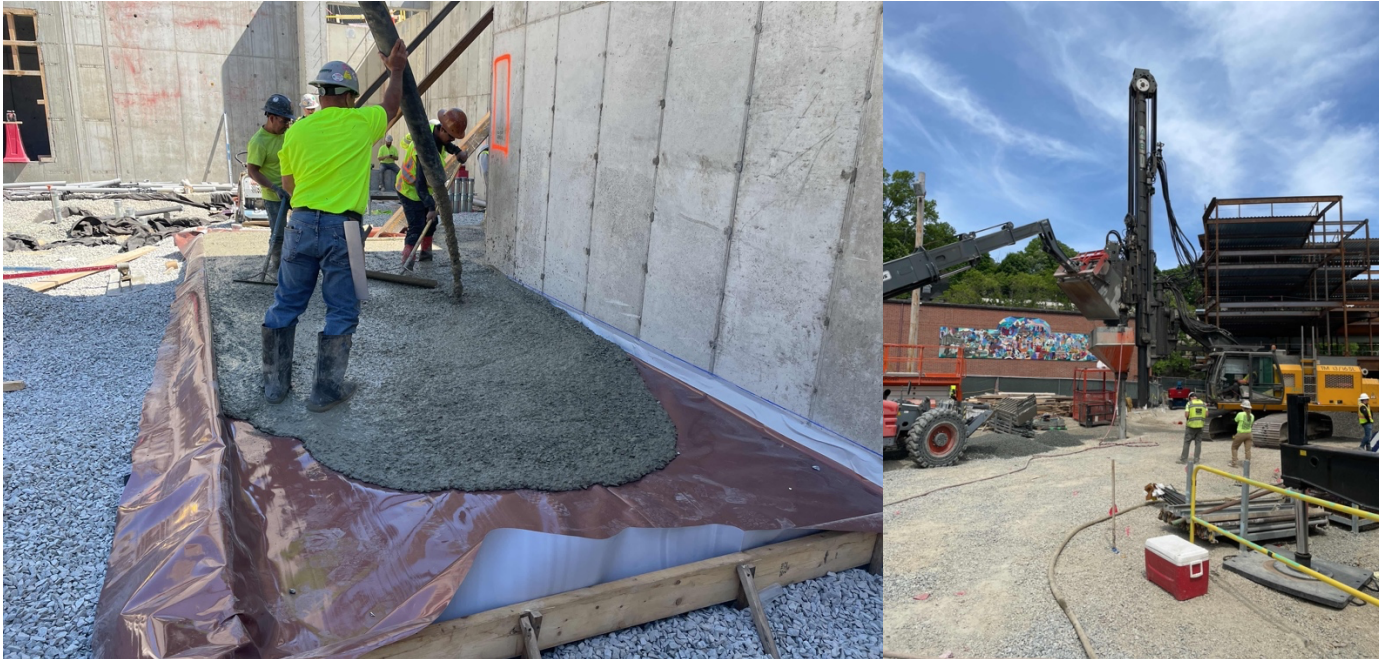
- The 4th level walls of Core AB will be poured, along with the floor at level 2, Area C.
- Geopier installation will continue.
- Underground electrical and plumbing work will continue.
- **Site construction over the next 2 weeks will include work that will create some ground vibration which may be noticeable when adjacent to the site.**
- **No work is scheduled for Saturday 5/28/22**

MILESTONE DATES:

- Structural Steel begins: 3/28/22
- Foundations complete: 6/21/22
- Structural Steel complete: 8/30/22

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DRISCOLL SCHOOL WEEKLY UPDATE



THIS WEEK'S PROGRESS

(May 23 – May 27)

- Core AB 4th level walls were poured
- Waterproofing, backfilling and compaction continued around the building.
- Underground electrical and plumbing work was ongoing, with a partial plumbing inspection achieved.
- Geopier installation was ongoing on the East side of the site.
- The 2nd floor slab at Building C was poured.
- **No work is planned for Saturday 5/28/22.**

PROJECT TRACKING:

Area C concrete slabs: 34%
Area C steel: 95%

ANTICIPATING NEXT WEEK

(May 31 – June 3)

- The 5th level walls of Core AB will be formed.
- Geopier work will finish this week.
- Underground electrical and plumbing work will continue.
- Concrete slabs in Area C on floors 3 and 4 will be poured.
- Footings along Washington St. will be formed.
- **No work is scheduled for Monday 5/30/22**

MILESTONE DATES:

- Structural Steel begins: 3/28/22
- Foundations complete: 6/21/22
- Structural Steel complete: 8/30/22

For Traffic Safety Enhancements and other project details, please visit the Project Website:

<https://www.brookline.k12.ma.us/Page/2353>

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 210
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Michael Driscoll School – New Construction

Day/Date:	Monday 05/02/2022	Weather:	Cloudy AM Cloudy PM
Temperature:	48 degrees @ 7:00 a.m. 55 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	Brookline Building Department		
Inspections:	UTS for rebar, structural steel and concrete		
Services:	None observed		
Meetings:	None observed		
Issues/Concerns:			
Deliveries:	Structural fill, lean concrete, 47cy 4000# concrete		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (9) 2 Superintendents, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (8) 1 Superintendent, 1 Foreman, 3 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (25) 1 Superintendent, 1 Foreman, 15 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (3) 0 Superintendent, 2 Masons, 1 Laborer • [05] GP East Steel: (8) 1 Foreman, 5 Ironworkers, 0 Crane Operator, 0 Oiler, 2 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (2) 1 Foreman, 1 Laborer • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Import, stockpile and place fill. Place lean concrete on East side. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. • [02] Maltby and Company: Not onsite. 			

- [02] Visa Sign: Not onsite.
- [03] Marguerite: Build/set forms, rebar cage, & embeds for Core AB. Pour concrete for foundation footing along line A1.
- [04] Fernandes Masonry: Masonry work at mock-up.
- [05] GP East Steel: Detail and deck. Welding studs (by Composite).
- [07] Armani Waterproofing: Not onsite.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Review progress of mock-up.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [26] Wayne J. Griffin Electric: Not onsite

Photos:



View of site.



Anchor bolt survey.



Decking.



Footing at A1 – concrete pour.



Masonry mock-up.



Setting forms, rebar and embeds, Core AB.



SOE demolition prior to backfill.



Underground plumbing.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 211
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Michael Driscoll School – New Construction

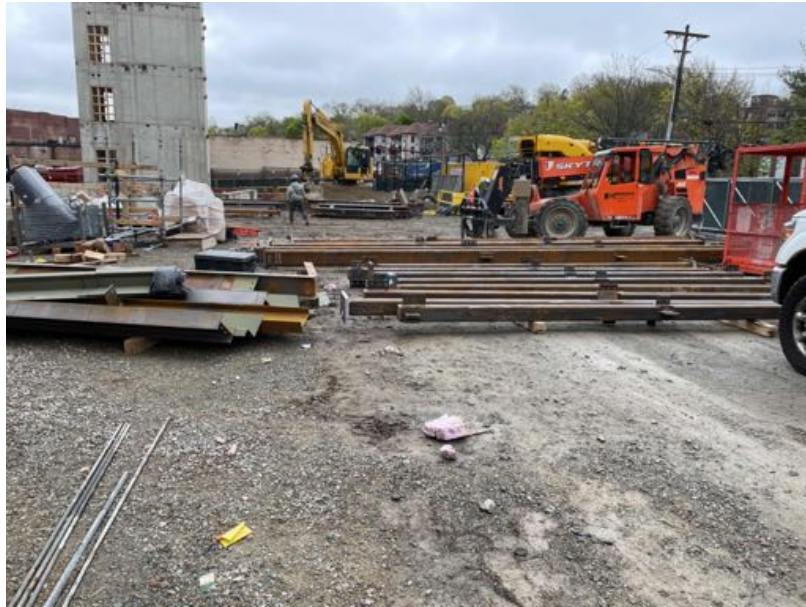
Day/Date:	Tuesday 05/03/2022	Weather:	Cloudy AM Cloudy PM
Temperature:	48 degrees @ 7:00 a.m. 53 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	JLA, Salem Glass – for mockup review		
Inspections:	None observed		
Services:	None observed		
Meetings:	MEPFP Coord, noon; Exterior Envelope, 1:00pm		
Issues/Concerns:	Practice site evacuation drill at 9:10am for Safety Week		
Deliveries:	Structural fill, Structural steel		
Removals:	Concrete forms		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (9) 2 Superintendents, 0 Project Manager, 0 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (8) 1 Superintendent, 1 Foreman, 3 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (23) 1 Superintendent, 1 Foreman, 13 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (4) 1 Superintendent, 2 Masons, 1 Laborer • [05] GP East Steel: (8) 1 Foreman, 5 Ironworkers, 0 Crane Operator, 0 Oiler, 2 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Laborer • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (0) 0 Foreman, 0 Journeymen • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Import, stockpile and place fill. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. • [02] Maltby and Company: Not onsite. 			

- [02] Visa Sign: Not onsite.
- [03] Marguerite: Finalize forms and embeds for Core AB. Strip forms at foundation footing along line A1. Build rebar cage for wall along A1.
- [04] Fernandes Masonry: Masonry work at mock-up.
- [05] GP East Steel: Erect steel, detail and deck. Welding studs (by Composite).
- [07] Armani Waterproofing: Not onsite.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite

Photos:



Brick mock-up.



Mezzanine steel.



Rebar and forms for wall at A1



Underground plumbing.



AG near Core A backfilled.

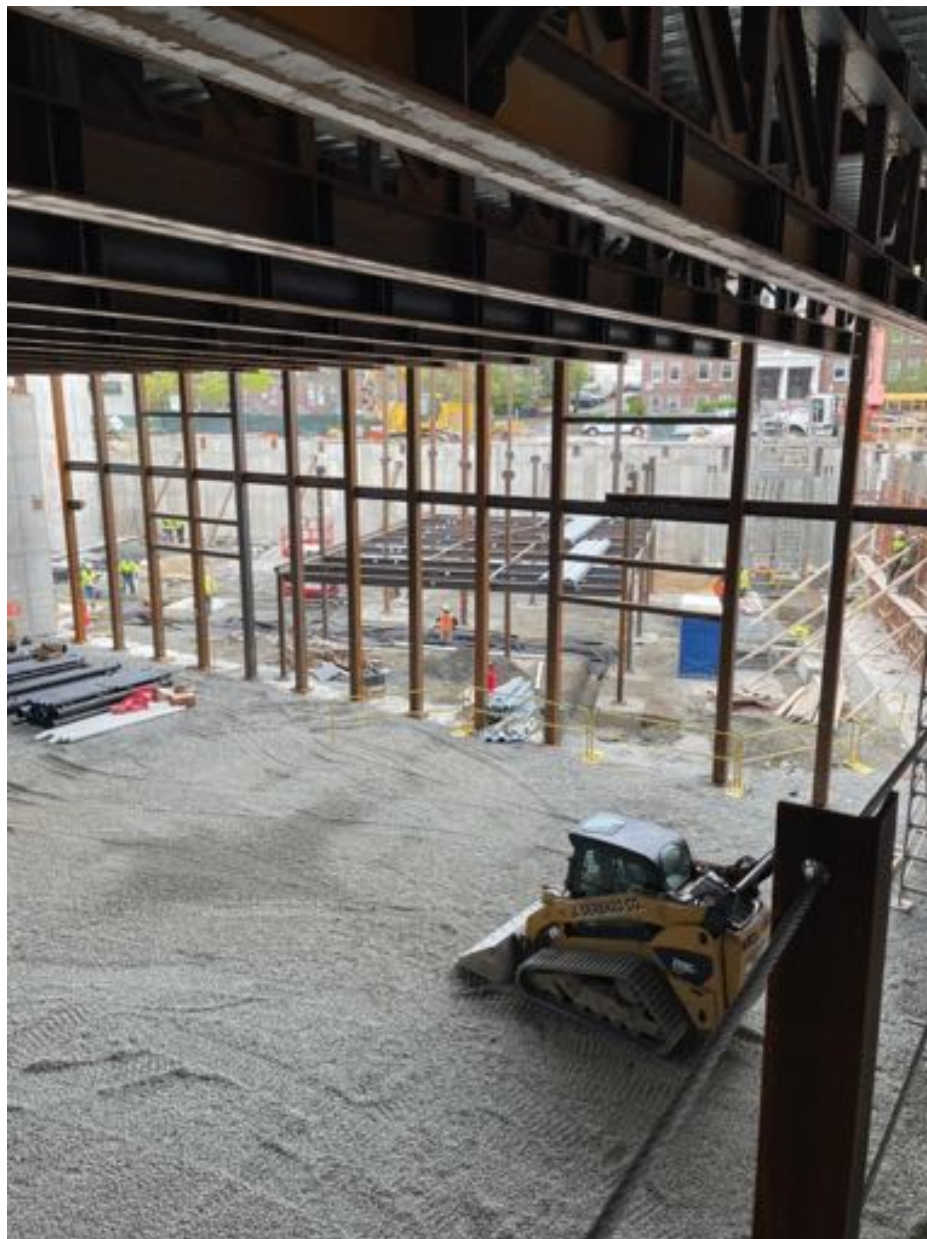
Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 212
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Michael Driscoll School – New Construction

Day/Date:	Wednesday 05/04/2022	Weather:	Cloudy, Rain AM Cloudy PM
Temperature:	50 degrees @ 7:00 a.m. 53 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for concrete, rebar, structural steel		
Services:	None observed		
Meetings:	Pull Plan update, 10:00am		
Issues/Concerns:	No steel work due to anticipated rain		
Deliveries:	Structural fill, 88cy 6000# concrete		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendents, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 0 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (5) 1 Superintendent, 0 Foreman, 2 Operators, 2 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (21) 1 Superintendent, 1 Foreman, 11 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (1) 1 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (0) 0 Foreman, 0 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Laborer • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [26] Wayne J. Griffin Electric: (1) 1 Foreman, 1 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Import, stockpile and place fill. Trench for underground utilities. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. • [02] Maltby and Company: Not onsite. 			

- [02] Visa Sign: Not onsite.
- [03] Marguerite: Pour concrete at Core AB. Build rebar cage/forms for wall along A1. Rebar at slab
- [04] Fernandes Masonry: Remove equipment from mock-up area.
- [05] GP East Steel: Not onsite.
- [07] Armani Waterproofing: Not onsite.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing and layout at slab CY/CT.8, level 1.
- [26] Wayne J. Griffin Electric: Layout at slab CY/CT.8, level 1, underground pipe.

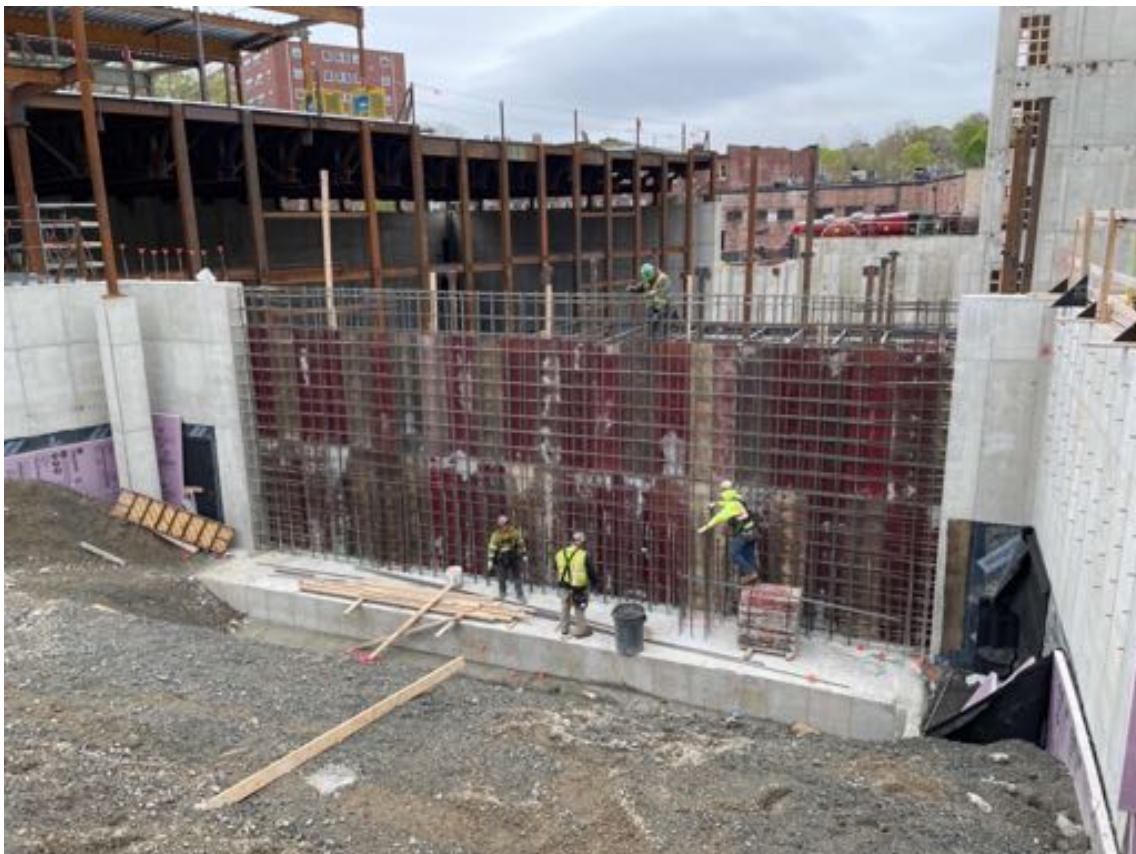
Photos:



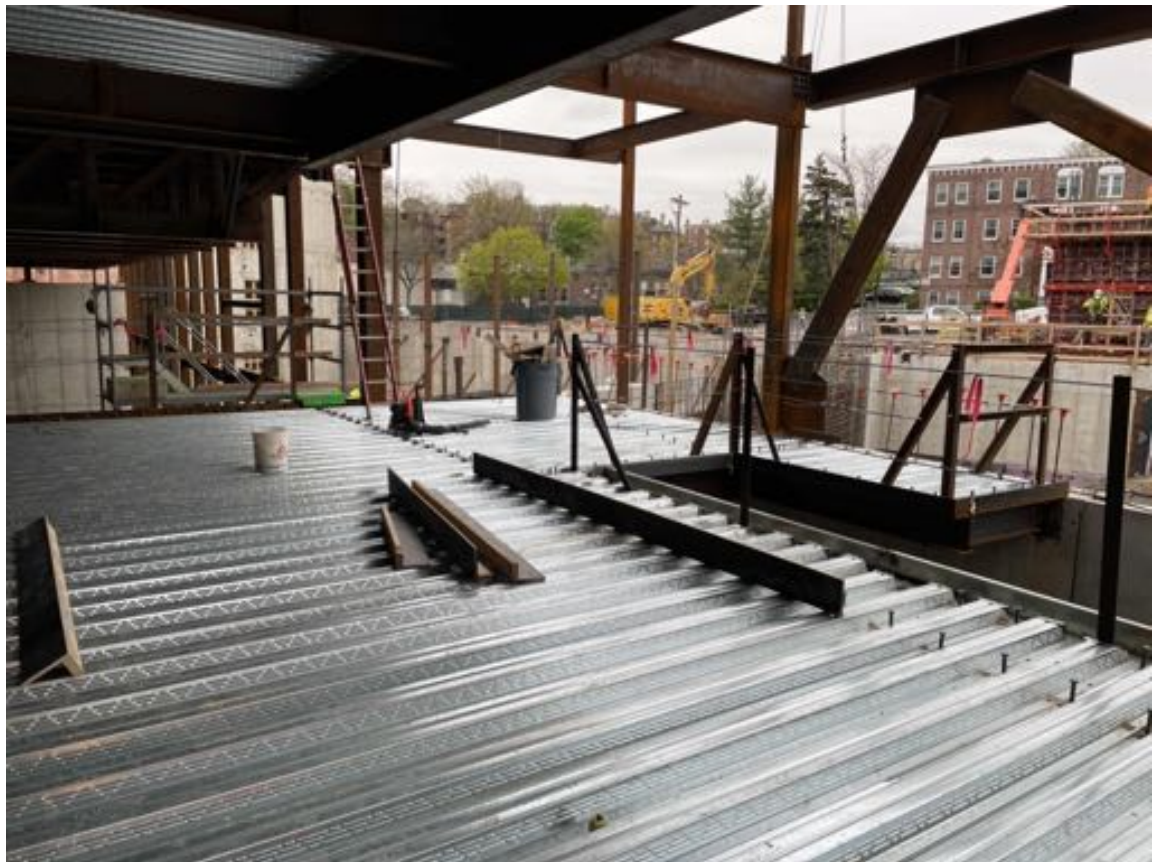
Mezzanine steel, view through the gym.



Concrete pour, Core AB.



Rebar and forms for wall at A1.



Deck at CY/CT.8, Level 2.



Deck at CY/CT.8, Level 2.



Core C – landing steel and deck.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 213
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Michael Driscoll School – New Construction

Day/Date:	Thursday 05/05/2022	Weather:	Sunny AM Sunny PM
Temperature:	52 degrees @ 7:00 a.m. 67 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for rebar		
Services:	None observed		
Meetings:	OAC, 9:00am; MEPFP Coord, 1:00pm		
Issues/Concerns:	No waterproofer on site		
Deliveries:	Structural fill, glass and window frames for mock-up		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendents, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 0 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (7) 1 Superintendent, 1 Foreman, 2 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (21) 1 Superintendent, 1 Foreman, 11 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (8) 1 Foreman, 5 Ironworkers, 1 Crane Operator, 1 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (3) 1 Foreman, 2 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [26] Wayne J. Griffin Electric: (2) 1 Foreman, 1 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Trench for underground utilities. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. • [02] Maltby and Company: Not onsite. 			

- [02] Visa Sign: Not onsite.
- [03] Marguerite: Move forms at Core AB. Rebar at slab. Complete forms at A1.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Erect roof steel, Area C; detail and deck mezzanine, floors 3 and 4.
- [07] Armani Waterproofing: Not onsite.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Install frames at mock-up.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing and layout at slab CY/CT.8, level 1.
- [26] Wayne J. Griffin Electric: Underground pipe.

Photos:



View of steel.



Foundation wall forms at A1.



Window frames at mock-up.



Deck prep prior to concrete pour.



Underground pipe progress.

Michael Driscoll School, Brookline, MA		OPM FIELD REPORT # 214	
Michael Driscoll School – New Construction			
Day/Date:	Friday 05/06/2022	Weather:	Partly Cloudy AM Sunny PM
Temperature:	58 degrees @ 7:00 a.m. 63 degrees @ 3:00 p.m.	Site Representative:	Ryan Pacheco
Visitors:	JLA, Helical		
Inspections:	UTS for concrete		
Services:	None observed		
Meetings:	SBAC 9:00am; Steel Check-in meeting 9:00am		
Issues/Concerns:			
Deliveries:	Precast drainage structures		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (5) 1 Superintendents, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 0 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (7) 1 Superintendent, 1 Foreman, 2 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (26) 1 Superintendent, 1 Foreman, 11 Carpenters, 4 Ironworkers, 2 Laborers, 5 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (8) 1 Foreman, 5 Ironworkers, 1 Crane Operator, 1 Oiler, 0 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Trench for underground utilities. Continue backfill around Core A, relocate water service on Washington St. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. 			

- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Finish forms at foundation wall A1. Move forms at Core AB. Build rebar for Core AB level 2, Pour concrete slab on deck C1, and exterior footing at line AX (alleyway)
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Deck Area C; detail and deck mezzanine, floors 3 and 4.
- [07] Armani Waterproofing: continue waterproofing around Core A.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing and layout at slab CY/CT.8, level 1.
- [26] Wayne J. Griffin Electric: Not Onsite

Photos:



View of steel progress.



Foundation wall forms at A1 prepared for Monday's pour.



Forms being installed at Core AB level 2



Underground Plumbing in Building C progress.



Concrete pour at Deck Slab C1



Finishing underway on deck slab C1.



Waterproofing behind Core A (corner of washington st & alleyway)



Exterior Footing at AX



Water service work along Washington St.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 215
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Michael Driscoll School – New Construction

Day/Date:	Monday 05/09/2022	Weather:	Sunny AM Sunny PM
Temperature:	48 degrees @ 7:00 a.m. 56 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for concrete		
Services:	None observed		
Meetings:	Change Order review, 10am; Slab Penetration review, 2:00pm		
Issues/Concerns:			
Deliveries:	Structural fill, 55cy 4000# concrete		
Removals:	Concrete deadmen, forms		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 1 Superintendent, 1 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (7) 1 Superintendent, 1 Foreman, 2 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (2) 0 Superintendent, 1 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (16) 1 Superintendent, 1 Foreman, 7 Carpenters, 3 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (5) 1 Foreman, 4 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (1) 1 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Trench for underground utilities, backfill at foundation walls. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Removing limited SOE. 			

- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Reset forms at Core AB. Pour concrete at wall A1.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 3 and 4.
- [07] Armani Waterproofing: Waterproofing walls, South and East.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Review of mezzanine and deck
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:



Backfill along Washington St.



Waterproofing.



Form installation at Core AB.



Concrete pour, wall at A1.



Slab result.



Fiber in slab, very limited.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 216
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Michael Driscoll School – New Construction

Day/Date:	Tuesday 05/10/2022	Weather:	Sunny AM Sunny PM
Temperature:	49 degrees @ 7:00 a.m. 59 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	Tony Guigli, noon. JLA for Exterior Envelope mtg and mockup review		
Inspections:	None observed		
Services:	None observed		
Meetings:	MEPFP Coord, noon; Exterior Envelope, 1:00pm		
Issues/Concerns:			
Deliveries:	Structural fill		
Removals:	Forms		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (7) 2 Superintendents, 1 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (7) 0 Superintendent, 1 Foreman, 3 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (24) 1 Superintendent, 1 Foreman, 14 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (5) 1 Foreman, 4 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (2) 1 Foreman, 1 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Trench for underground utilities, backfill at foundation walls. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. 			

- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Reset forms, set rebar at Core AB. Strip forms at wall A1.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 3, 4 and roof. Clearing out staging area adjacent to Westbourne Terrace.
- [07] Armani Waterproofing: Not onsite.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Underground conduit.

Photos:



Wall at A1 stripped.



Mezzanine decking complete.



Temp water service relocated along Washington.



Core AB form progress.



Backfilling.



Decking progress.



Pipe and conduit progress.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 217
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Michael Driscoll School – New Construction

Day/Date:	Wednesday 05/11/2022	Weather:	Partly Sunny AM Partly Sunny PM
Temperature:	48 degrees @ 7:00 a.m. 60 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	Plumbing inspection, 1:30pm		
Services:	None observed		
Meetings:	Pull Plan update, 10:00am		
Issues/Concerns:			
Deliveries:	Structural fill		
Removals:	Forms		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (1) Lull; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (5) boom lifts, 125T crane for GP East		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (7) 2 Superintendents, 1 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (11) 1 Superintendent, 1 Foreman, 3 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 3 Helical Drilling • [02] Lockwood Remediation: (1) 1 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (24) 1 Superintendent, 1 Foreman, 14 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (9) 1 Foreman, 4 Ironworkers, 1 Crane Operator, 1 Oiler, 2 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Trench for underground utilities, backfill at foundation walls. Vacuum frac tanks. Helical Drilling begins prep. • [02] Lockwood Remediation: Review of frac tank cleaning. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Reset forms, build and set rebar at Core AB. Relocate materials onsite.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 3, 4 and roof. Clearing out staging area adjacent to Westbourne Terrace.
- [07] Armani Waterproofing: Waterproofing at CY and Core A.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

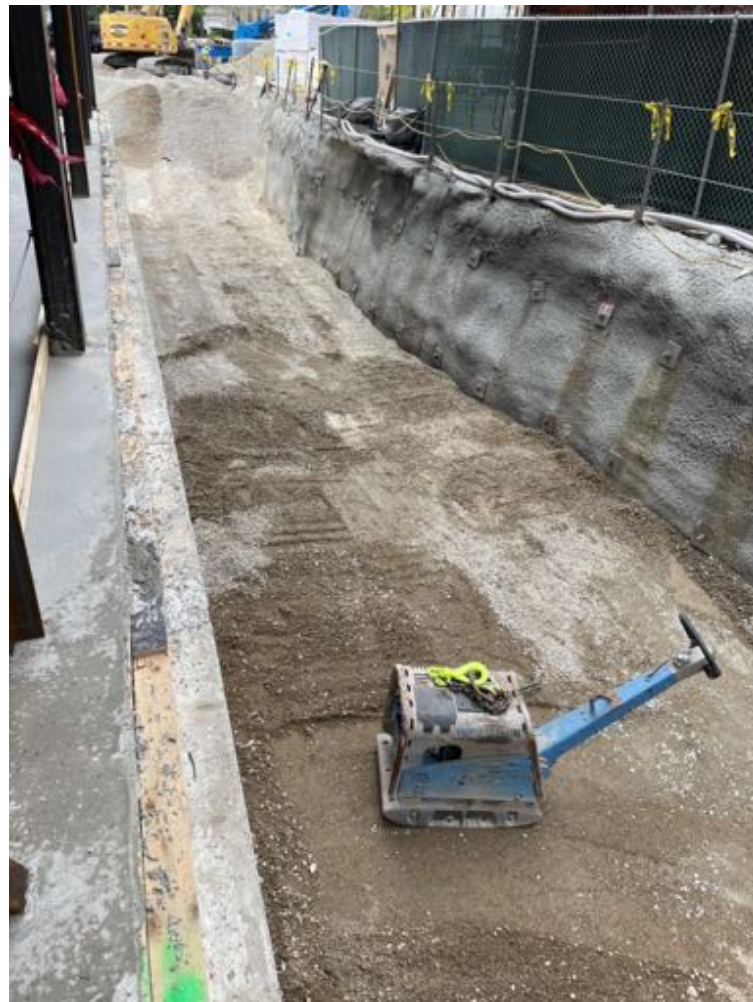
Photos:



Underground plumbing inspection – passed.



Welding studs at mezzanine.



Backfill along line CY adjacent to gym.



Core AB forms ongoing.



Temporary water service relocated and operational.



Flags for geopier locations.



Forms and rebar at areaway, SE.

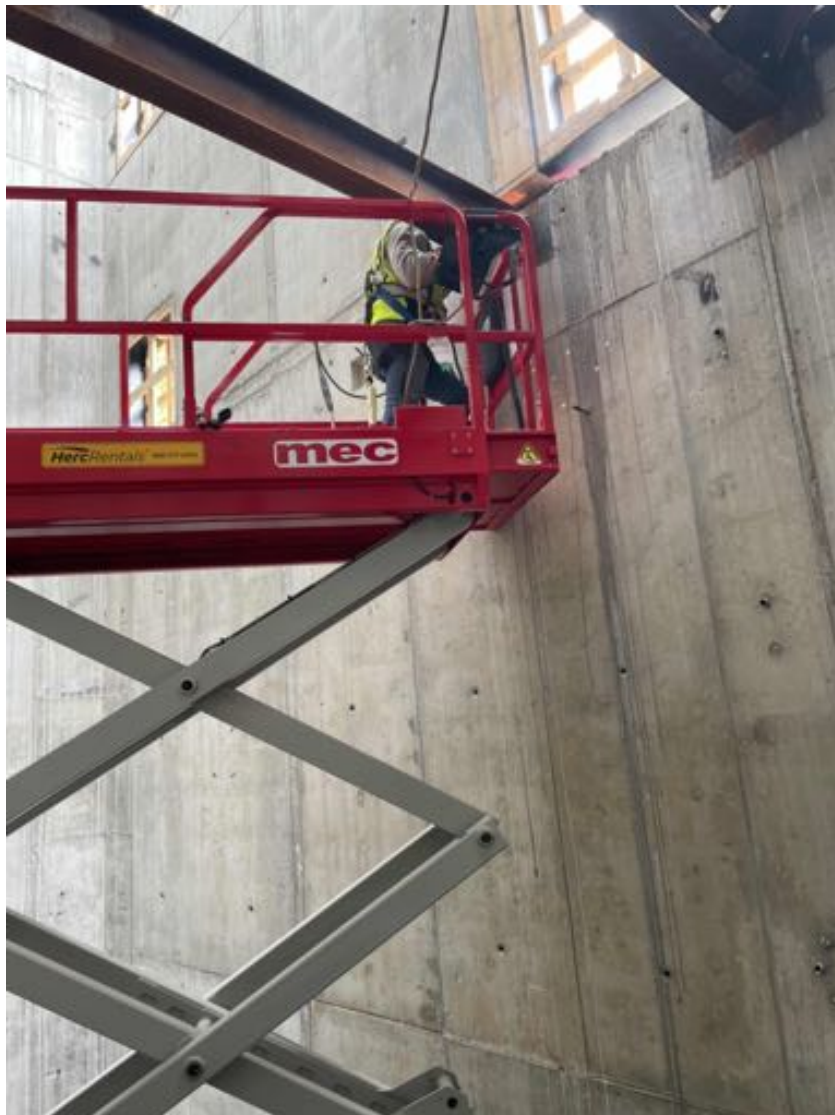
Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 218
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Michael Driscoll School – New Construction

Day/Date:	Thursday 05/12/2022	Weather:	Partly Sunny AM Sunny PM
Temperature:	54 degrees @ 7:00 a.m. 64 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS on site for soil compaction at backfill areas.		
Services:	None observed		
Meetings:	OAC, 9:00am; MEPFP Coord, 1:00pm		
Issues/Concerns:			
Deliveries:	Structural fill, equipment for Helical: lull, bobcat, excavator		
Removals:	Forms, crane for GP East		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, Frac tanks/equipment, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, 125T crane for GP East, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendents, 1 Project Manager, 1 Mgr of Engineering, 0 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (11) 1 Superintendent, 1 Foreman, 3 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 3 Helical Drilling • [02] Lockwood Remediation: (2) 1 Foreman, 1 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (25) 1 Superintendent, 1 Foreman, 14 Carpenters, 4 Ironworkers, 3 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Masons, 0 Laborer • [05] GP East Steel: (7) 1 Foreman, 4 Ironworkers, 1 Crane Operator, 1 Oiler • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Backfilling underground utilities, backfill at foundation walls. Assist with removal of one frac tank. Helical Drilling prep. • [02] Lockwood Remediation: Removal of frac tank. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Reset forms, build and set rebar at Core AB. Relocate materials onsite.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof. Clearing out staging area adjacent to Westbourne Terrace. Remove crane from site.
- [07] Armani Waterproofing: Waterproofing at various locations.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:



Installing platform, Core C.



Backfill and waterproof wall CY.



Plumbing backfilled, Area A.



Setting rebar, Core AB.



Frac tank #1 removed.

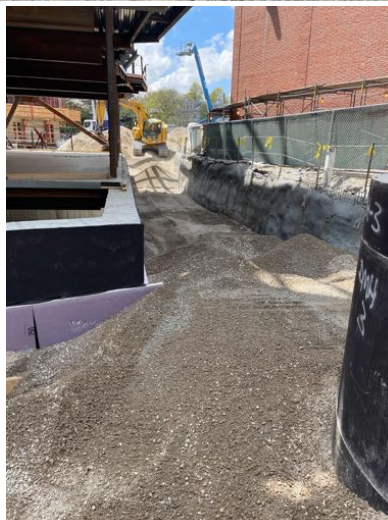
Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 219
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Michael Driscoll School – New Construction

Day/Date:	Friday 05/13/2022	Weather:	Partly Sunny AM Sunny PM
Temperature:	62 degrees @ 7:00 a.m. 78 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	JLA, 10:00am		
Inspections:	UTS for rebar at Core AB and areaway		
Services:	None observed		
Meetings:	Finishes review w/ JLA and Co-Chairs, 8:30am		
Issues/Concerns:			
Deliveries:	Structural fill, rebar		
Removals:	Frac tank		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (3) 1 Superintendent, 0 Project Manager, 1 Mgr of Engineering, 0 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (10) 0 Superintendent, 1 Foreman, 3 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 3 Helical Drilling • [02] Lockwood Remediation: (2) 1 Foreman, 1 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (22) 1 Superintendent, 1 Foreman, 12 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (2) 1 Superintendent, 0 Masons, 1 Laborer • [05] GP East Steel: (5) 1 Foreman, 4 Ironworkers, 0 Crane Operator, 0 Oiler • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Backfilling underground utilities, backfill at foundation walls. Assist with removal of frac tank. Helical Drilling prep. • [02] Lockwood Remediation: Removal of frac tank #2. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Build and set rebar at Core AB and mezzanine. Initial layout on Floor 2 slab.
- [04] Fernandes Masonry: Mock-up rework.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof. Clearing out staging area adjacent to Westbourne Terrace.
- [07] Armani Waterproofing: Waterproofing at various locations.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:



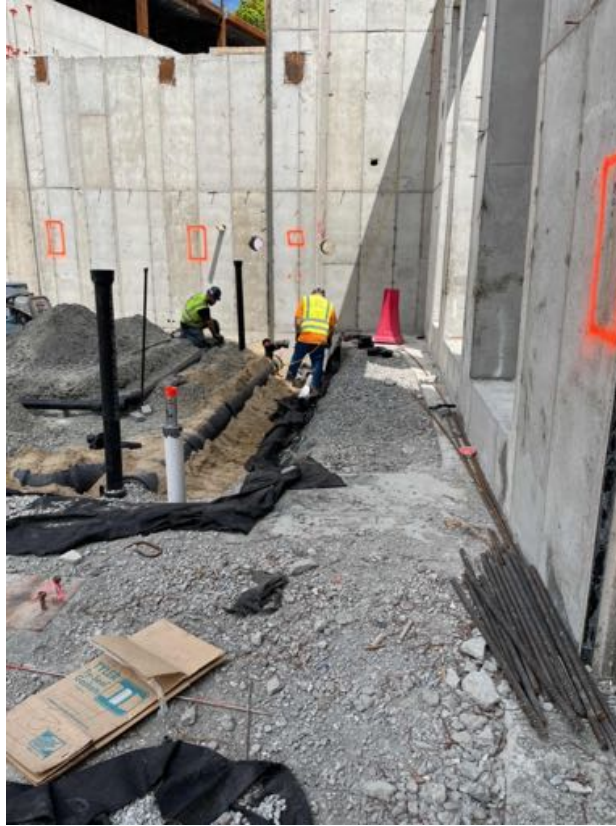
Backfill along CY and 21.6 lines.



Frac tanks removed.



Mezzanine progress.



Underground plumbing progress.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 220
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Michael Driscoll School – New Construction

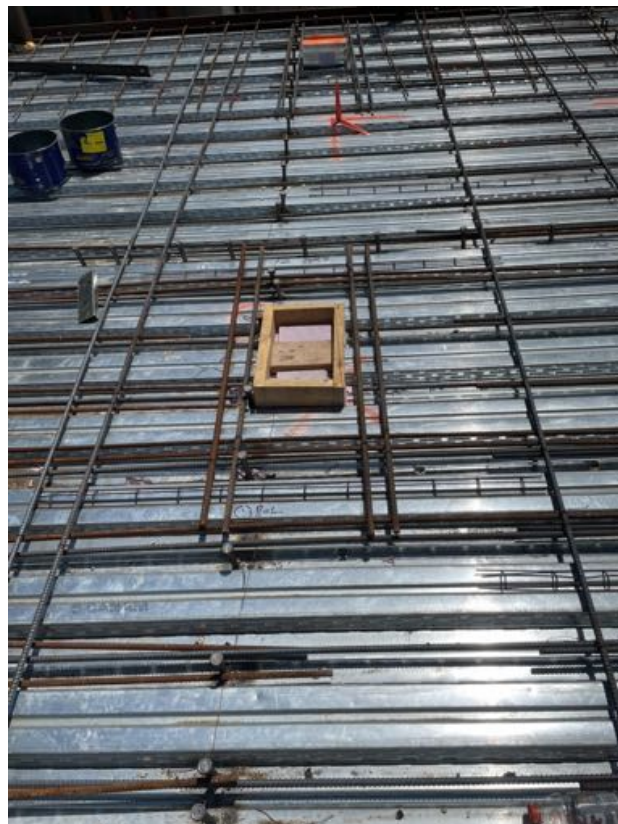
Day/Date:	Monday 05/16/2022	Weather:	Sunny AM Sunny PM
Temperature:	65 degrees @ 7:00 a.m. 77 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for rebar and studs at mezzanine		
Services:	McPhail on site to review seismographs and monitor geopier installation		
Meetings:	CO review, 10:00am		
Issues/Concerns:	Teachers strike, picketing at gates		
Deliveries:	Helical drilling rig; crushed stone; structural fill		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendent, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (15) 0 Superintendent, 1 Foreman, 3 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 7 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (26) 1 Superintendent, 1 Foreman, 16 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (3) 1 Superintendent, 1 Mason, 1 Laborer • [05] GP East Steel: (9) 1 Foreman, 6 Ironworkers, 0 Crane Operator, 0 Oiler, 2 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Backfilling underground utilities, backfill at foundation walls. • [02] Lockwood Remediation: Not onsite. • [02] HUB Foundations: Not onsite. 			

- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Finalize Core AB and mezzanine. Install rebar on Floor 2 slab.
- [04] Fernandes Masonry: Mock-up rework.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof.
- [07] Armani Waterproofing: Waterproofing at various locations.
- [07] JD Rivet Roofing: Not onsite.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:



Geopier drilling.



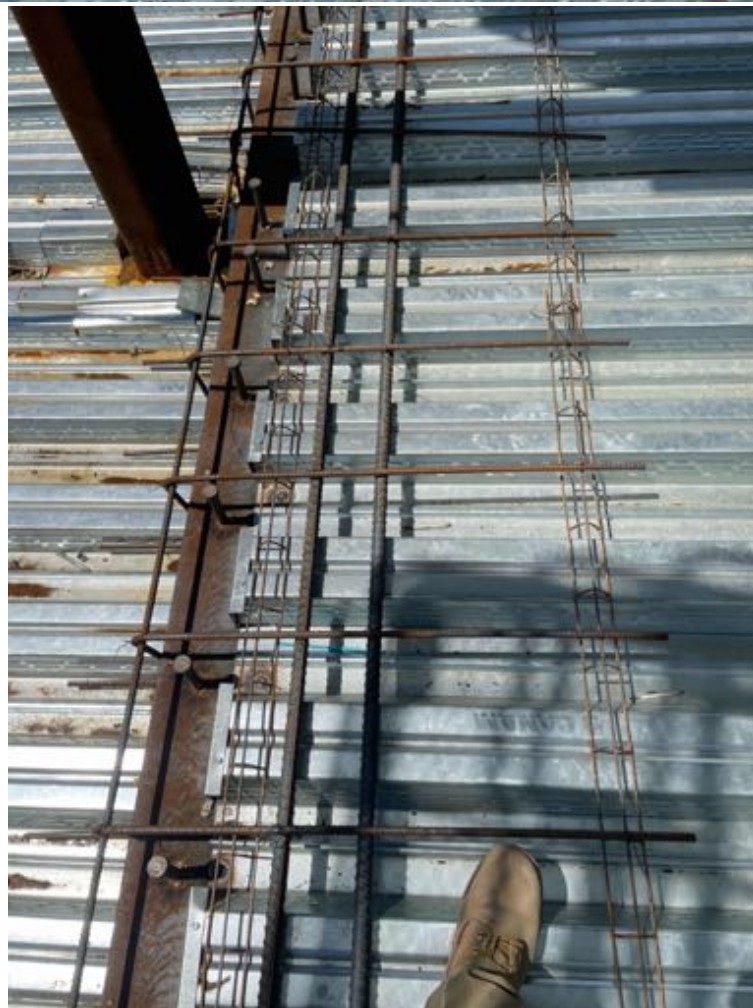
Mezzanine rebar.



Masonry at mock-up.



Steel decking/reinforcement at Level 2.



Steel decking/reinforcement at Level 2.



Waterproofing and backfilling, Westbourne side.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 221
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Michael Driscoll School – New Construction

Day/Date:	Tuesday 05/17/2022	Weather:	Sunny AM Sunny PM
Temperature:	61 degrees @ 7:00 a.m. 73 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	GGD for site review		
Inspections:	UTS for rebar and studs at mezzanine, soil compaction and concrete cylinders		
Services:	McPhail on site to monitor geopier installation		
Meetings:	MEPFP Coord, noon		
Issues/Concerns:	UTS soil compaction inspector also doing concrete testing		
Deliveries:	Crushed stone; structural fill; concrete washout dumpster		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendent, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (14) 0 Superintendent, 1 Foreman, 3 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 6 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (26) 1 Superintendent, 1 Foreman, 16 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (8) 1 Foreman, 7 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (2) 1 Foreman, 1 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (1) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Excavating for underground utilities, backfill at foundation walls. Helical is installing geopiers along Washington. • [02] Lockwood Remediation: Not onsite. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Pour and finish mezzanine slab. Install rebar on Floor 2 slab and generator areaway.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof.
- [07] Armani Waterproofing: Waterproofing at various locations.
- [07] JD Rivet Roofing: Rework at mock-up.
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Clean up/stockpile materials.

Photos:



Geopier drilling.



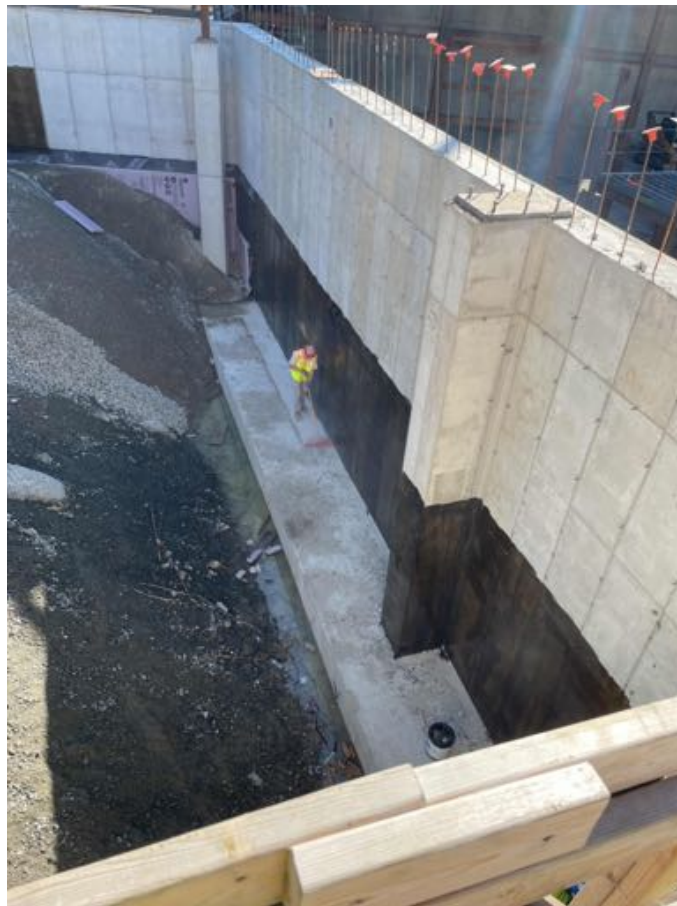
Mezzanine slab pour.



Roofing at mock-up.



Steel decking/reinforcement at Level 2.



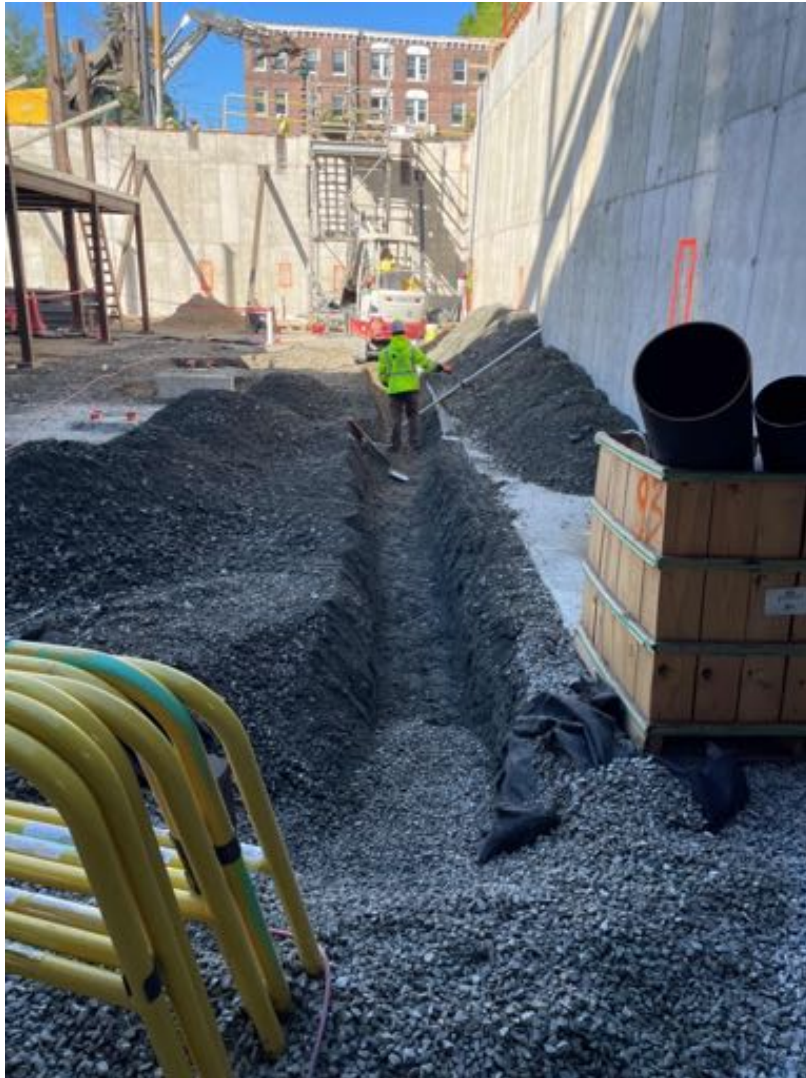
Waterproofing at line A1.



Backfilling, North side adjacent to Westbourne Terrace.



Install plumbing through sleeve, line CY adjacent to existing gym.



Excavation for sanitary plumbing lines and deadmen.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 222
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Michael Driscoll School – New Construction

Day/Date:	Wednesday 05/18/2022	Weather:	Sunny AM Sunny PM
Temperature:	55 degrees @ 7:00 a.m. 72 degrees @ 3:00 p.m.	Site Representative:	Ryan Pacheco
Visitors:	Johnson Controls for site review, Mark Warner JLA for mock-up review		
Inspections:	UTS for concrete inspection		
Services:	McPhail on site to monitor geopier installation		
Meetings:	Pull Plan update @ 10am		
Issues/Concerns:			
Deliveries:	Rebar, Crushed Stone, Structural fill, and Forms.		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendent, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (14) 0 Superintendent, 1 Foreman, 3 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 6 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (26) 1 Superintendent, 1 Foreman, 16 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (8) 1 Foreman, 7 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (2) 1 Foreman, 1 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (1) 1 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Excavating for underground utilities, backfill at foundation walls. Helical is installing geopiers on westside of site adjacent to construction trailers. • [02] Lockwood Remediation: Not onsite. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Pour Core AB level 2 and generator areaway. Install rebar on Floor 2 slab. Begin forms at column line C25 (Westbourne Ter. Ramp & Stairs)
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof.
- [07] Armani Waterproofing: Not onsite
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: continue work on mockup.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: continue with installation of conduit inside building C

Photos:



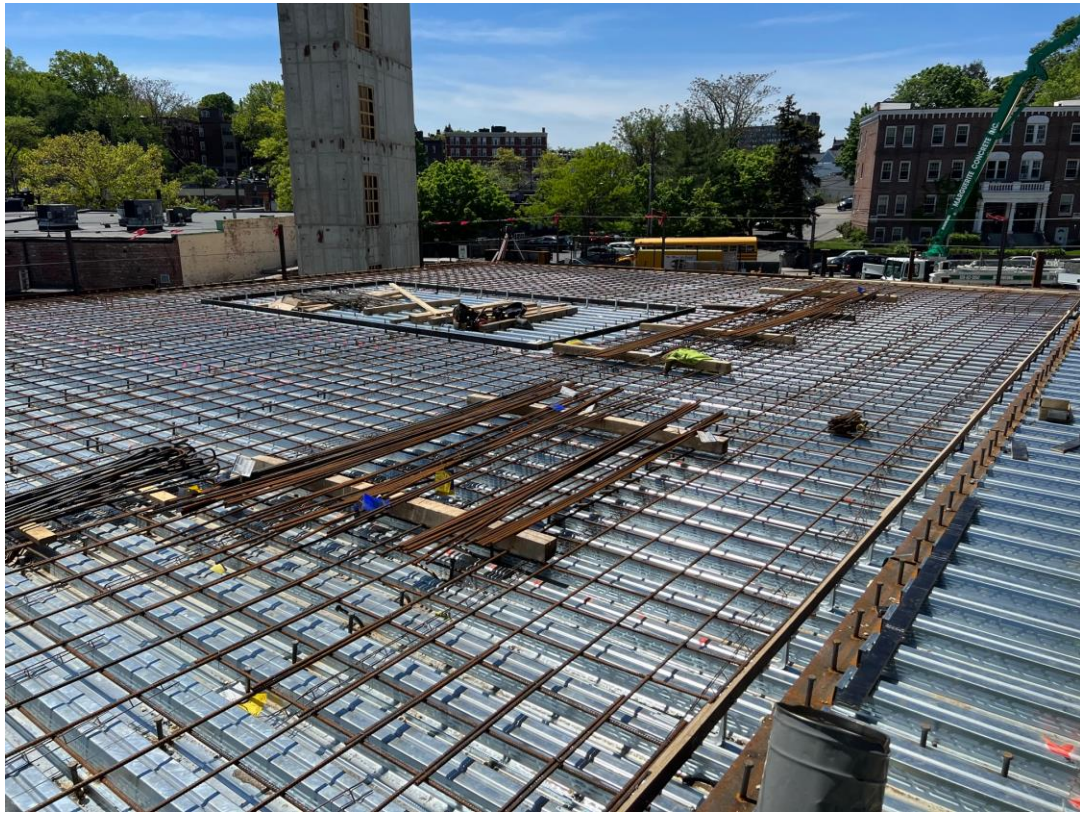
Geopier installation.



Prepping mezzanine for installation of housekeeping pads.



Window installed at mock up.



Steel decking/rebar reinforcement on level 2 of Building C.



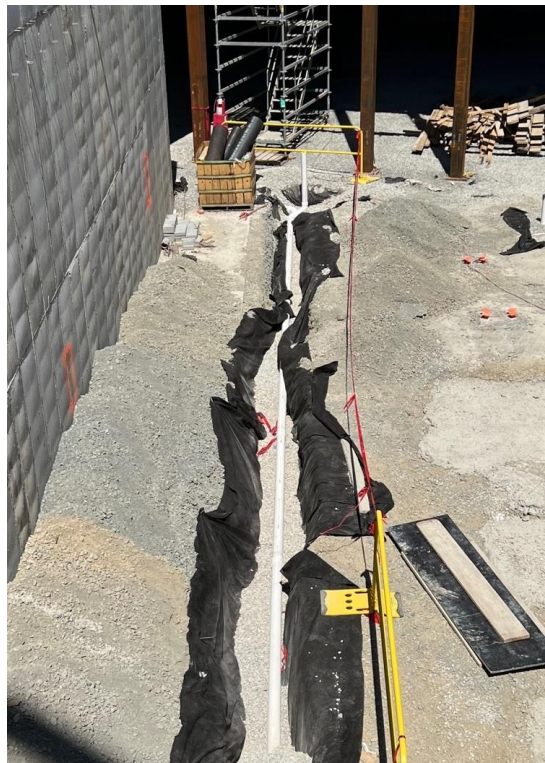
Backfill and Compaction behind Core A



Forming for Column at line AX (loading dock)



Concrete pour at Core AB level 2, and generator areaway



Underground plumbing along westside of building C.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 223
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Michael Driscoll School – New Construction

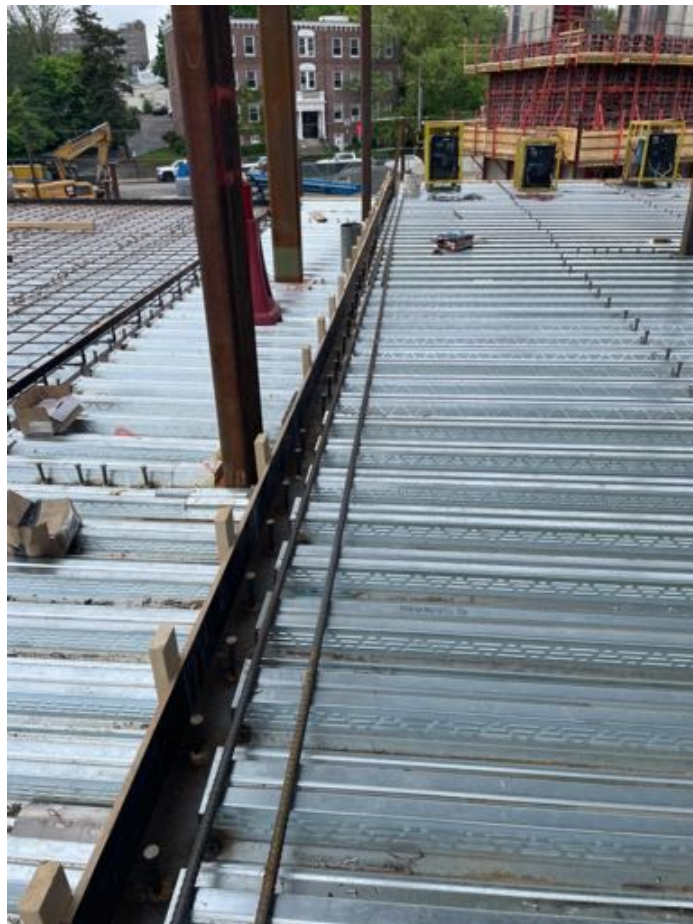
Day/Date:	Thursday 05/19/2022	Weather:	Cloudy AM Cloudy PM
Temperature:	48 degrees @ 7:00 a.m. 57 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	'Gilbane Cares' group for safety walk		
Inspections:	UTS for structural inspection of decks at C2 and C3.		
Services:	McPhail on site to monitor geopier installation		
Meetings:	OAC at 9:00am		
Issues/Concerns:			
Deliveries:	Crushed stone and structural fill		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (7) 2 Superintendent, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 1 Safety Officer, 1 Medic, 0 Intern • [02] J. Derenzo: (14) 1 Superintendent, 0 Foreman, 3 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 6 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (22) 1 Superintendent, 1 Foreman, 12 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (8) 1 Foreman, 7 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (2) 1 Foreman, 1 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Trenching for ductbank, backfill at foundation walls. Helical is installing geopiers on West side of site adjacent to construction trailers. • [02] Lockwood Remediation: Not onsite. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Raise forms at Core AB; strips forms at generator areaway. Install rebar on Floor 2 slab. Install forms at column line C25 (Westbourne Ter. Ramp & Stairs)
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof.
- [07] Armani Waterproofing: Not onsite
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Ductbank on East side adjacent to alley.

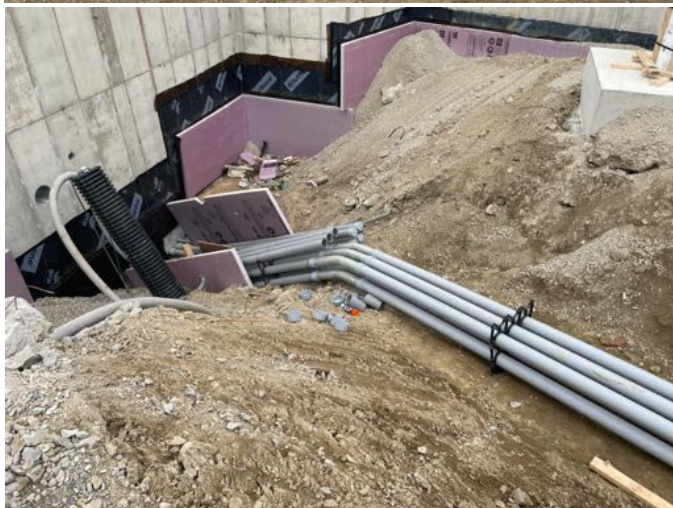
Photos:



Geopier installation ongoing.



Deck C2 progress



Ductbank installation, East side adjacent to alley.



Core AB forms.



Forms for footings at North side.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 224
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Michael Driscoll School – New Construction

Day/Date:	Friday 05/20/2022	Weather:	Cloudy AM Sunny PM
Temperature:	52 degrees @ 7:00 a.m. 67 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	None observed		
Services:	McPhail on site to monitor geopier installation		
Meetings:	Steel check-in, 9:00am		
Issues/Concerns:			
Deliveries:	Crushed stone, concrete at ductbank		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		

Workforce:

- [01] Gilbane: (7) 2 Superintendent, 0 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 0 Intern
- [02] J. Derenzo: (16) 1 Superintendent, 0 Foreman, 3 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 1 Surveyor, 7 Helical Drilling
- [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer
- [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer
- [02] Maltby and Company: (0)
- [02] Visa Sign: (0)
- [03] Marguerite: (22) 1 Superintendent, 1 Foreman, 12 Carpenters, 4 Ironworkers, 2 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator
- [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer
- [05] GP East Steel: (6) 1 Foreman, 5 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders
- [07] Armani Waterproofing: (2) 2 Installers
- [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer
- [08] Salem Glass: (0) 0 Foreman, 0 Installers
- [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter
- [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman
- [23] Apex HVAC: (0) 0 Foreman
- [26] Wayne J. Griffin Electric: (2) 1 Foreman, 1 Journeyman

General Observations:

- [01] Gilbane – On-site supervision managing the work of subcontractors.
- [02] J. Derenzo: Place crushed stone at generator slab location, support ductbank installation. Helical is installing geopiers on Washington side of site.
- [02] Lockwood Remediation: Not onsite.

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Raise forms and build rebar cage at Core AB. Install rebar on Floor 2 slab and high footings along C25.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detail and deck mezzanine, floors 4 and roof.
- [07] Armani Waterproofing: Waterproofing foundation walls, several locations.
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Ductbank on East side adjacent to alley.

Photos:



Ductbank progress.



Footings at North side.



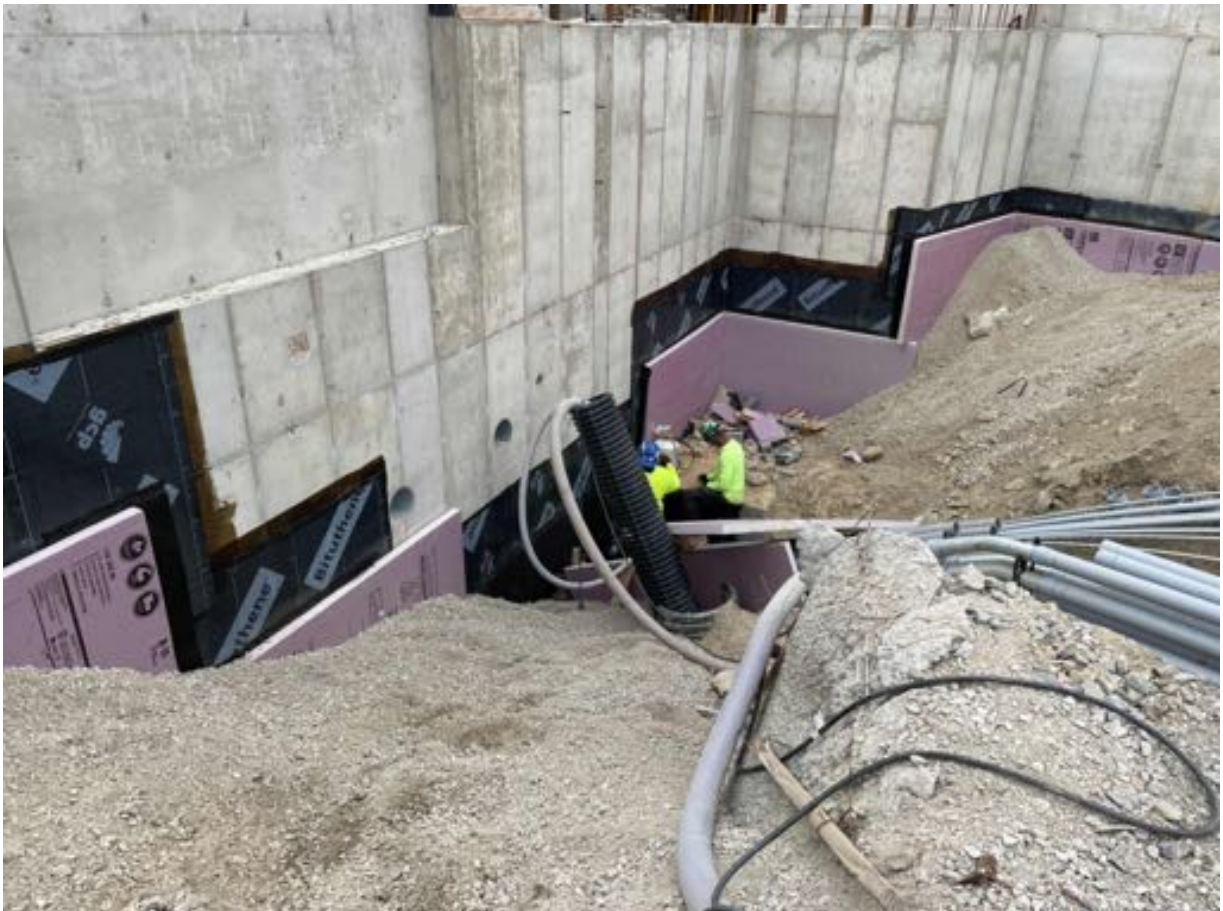
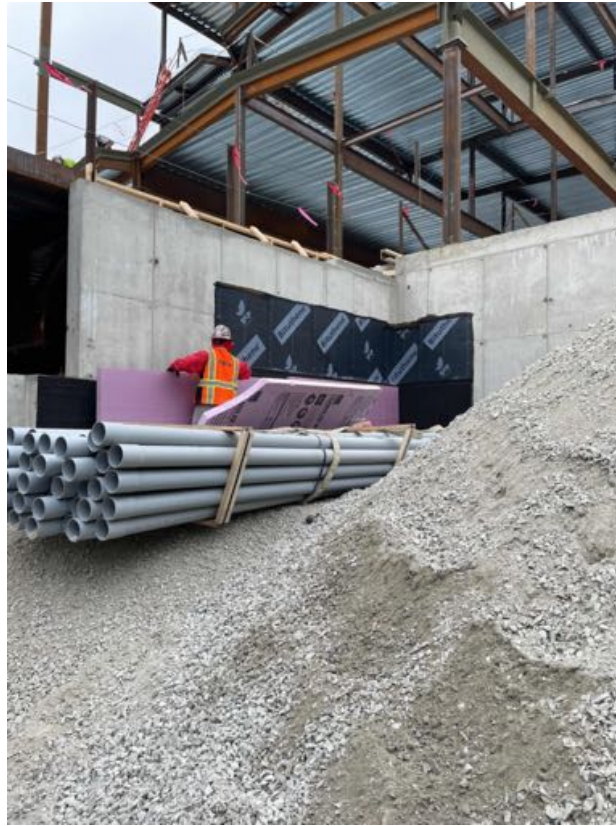
Generator areaway forms stripped.



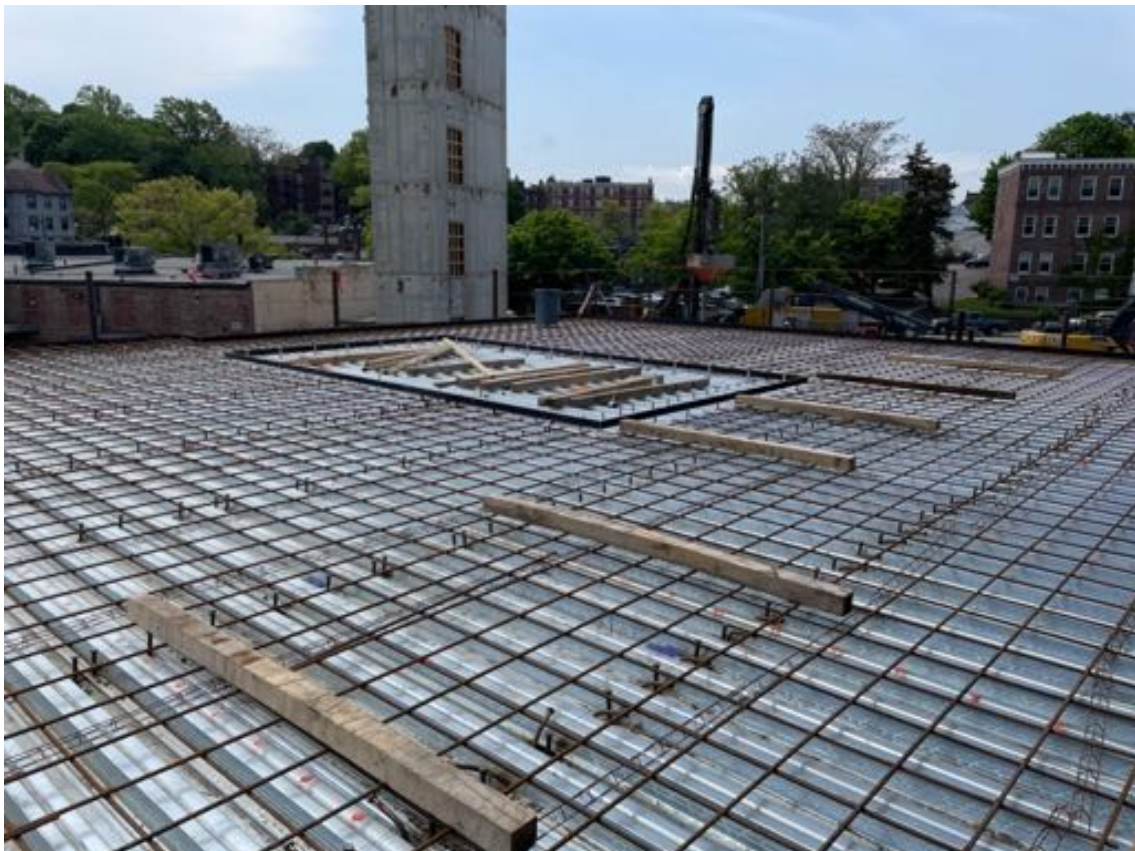
Geopier progress.



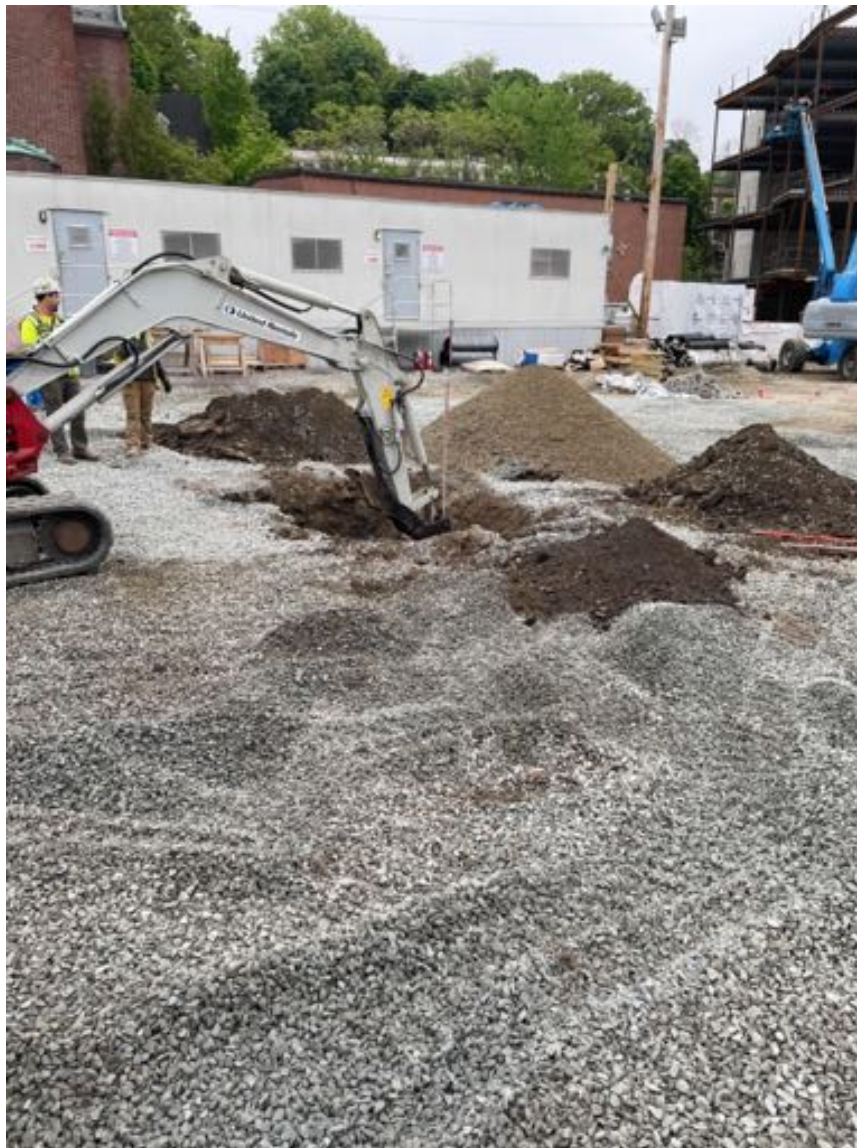
Prep for slab on grade at generator.



Waterproofing.



Details at Level 2 deck.



Prep for geopier pull test.

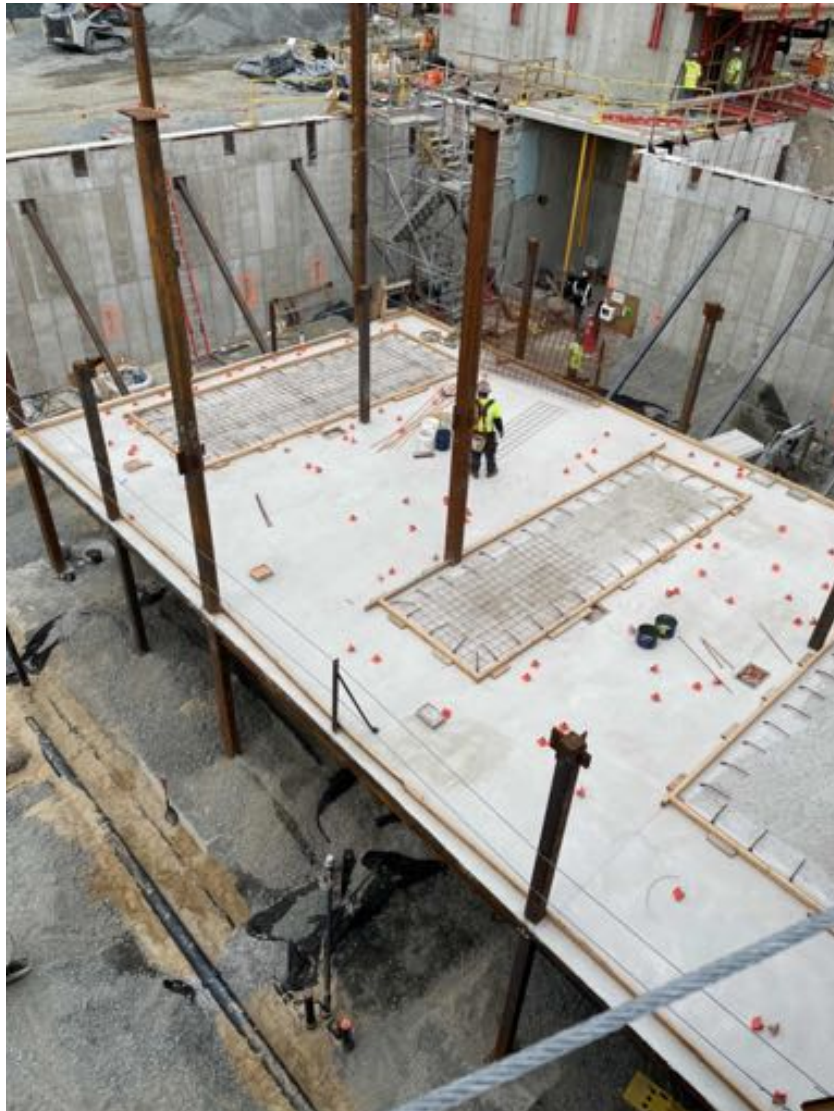
Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 225
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Michael Driscoll School – New Construction

Day/Date:	Monday 05/23/2022	Weather:	Sunny AM Sunny PM
Temperature:	60 degrees @ 7:00 a.m. 70 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for concrete pour at elevated footings, C25		
Services:	McPhail on site to monitor geopier installation		
Meetings:	Change Order review, 10:00am		
Issues/Concerns:			
Deliveries:	Crushed stone for geopiers; 22 cy 4000# ¾” concrete; 11 cy 3000# ¾” concrete		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (7) 2 Superintendent, 1 Project Manager, 0 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (17) 1 Superintendent, 0 Foreman, 2 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 10 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (24) 1 Superintendent, 0 Foreman, 11 Carpenters, 5 Ironworkers, 4 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator, 1 Safety Manager • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (6) 1 Foreman, 5 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Prep at generator slab location, place concrete at ductbank, plumbing excavation. Helical continues with geopier installation on South and East sides of the site. • [02] Lockwood Remediation: Not onsite. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Raise forms and build rebar cage at Core AB. Install rebar at mezzanine housekeeping pads; pour concrete footings along C25.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detailing, all locations in Area C.
- [07] Armani Waterproofing: Not onsite.
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing, toilet rooms below mezzanine.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:



Mezzanine housekeeping pads.



Slab on grade prep.



Core AB form progress.



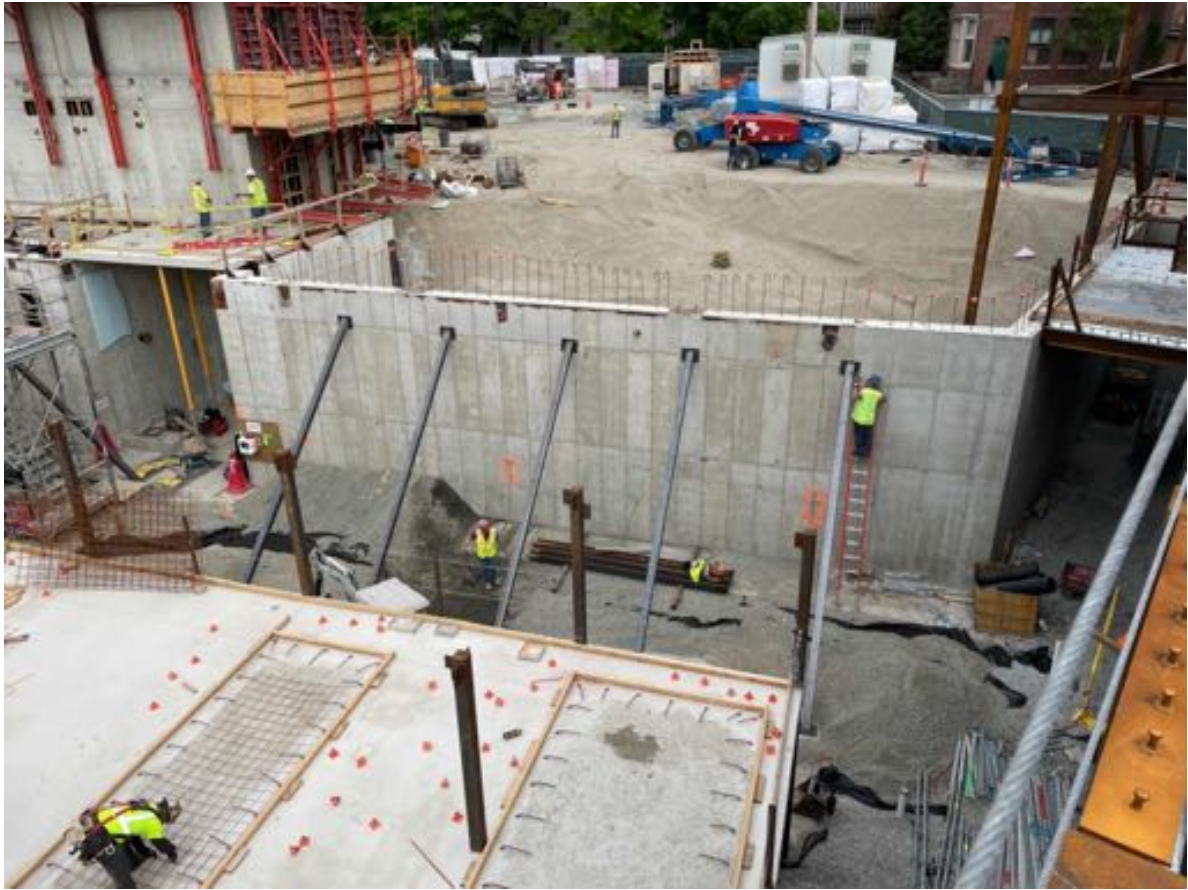
Ductbank progress.



Backfill at utility corridor.



Plumbing excavation, toilets rooms under mezzanine.



Temporary braces, wall C1.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 226
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Michael Driscoll School – New Construction

Day/Date:	Tuesday 05/24/2022	Weather:	Sunny AM Sunny PM
Temperature:	58 degrees @ 7:00 a.m. 60 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for concrete pour at deck C2, housekeeping pads on mezz, SOG at generator		
Services:	McPhail on site to monitor geopier installation		
Meetings:	Finishes mtg at JLA, 9:00am; MEPFP Coord, noon; Ext. Envelope, 1:00pm		
Issues/Concerns:			
Deliveries:	Crushed stone for geopiers; 165 cy 4000# 3/8" concrete w/ 4lbs fiber, 11cy w/ 5lbs for mezz and SOG; structural fill		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (7) 2 Superintendent, 1 Project Manager, 1 Mgr of Engineering, 0 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (17) 1 Superintendent, 0 Foreman, 2 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 10 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (30) 1 Superintendent, 0 Foreman, 11 Carpenters, 5 Ironworkers, 4 Laborers, 6 Finishers, 1 Surveyor, 1 Crane Operator, 1 Safety Manager • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (6) 1 Foreman, 5 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Backfill at ductbank, plumbing excavation. Backfill and compact at wall A1. Helical continues with geopier installation on South and East sides of the site and is performing pull test of pier into the evening. 			

- [02] Lockwood Remediation: Not onsite.
- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Install rebar cages and embeds at Core AB. Concrete pour at deck C2, mezzanine housekeeping pads and slab on grade (SOG) at generator.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detailing, all locations in Area C.
- [07] Armani Waterproofing: Waterproofing at line AT and A1
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing, toilet rooms below mezzanine.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:



Backfill and compaction at line A1



C2 deck pour.



Mezz pads poured.



Slab on grade (SOG) poured.



Round column poured and stripped.



Rebar at Core AB.



Waterproofing, backfill and compaction at ductbank.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 227
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Michael Driscoll School – New Construction

Day/Date:	Wednesday 05/25/2022	Weather:	Sunny AM Sunny PM
Temperature:	59 degrees @ 7:00 a.m. 71 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for concrete flatness test at deck C2, rebar at line C25 and Core AB.		
Services:	McPhail on site to monitor geopier installation		
Meetings:	Pull plan update, 10:00am		
Issues/Concerns:			
Deliveries:	Crushed stone for geopiers; structural fill; sand for plumbing backfill		
Removals:	Concrete finishing equipment		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (7) 2 Superintendent, 1 Project Manager, 1 Mgr of Engineering, 0 MEP Coordinator, 1 Project Engineer, 0 VDC Engineer, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (17) 1 Superintendent, 0 Foreman, 2 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 1 Surveyor, 10 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (30) 1 Superintendent, 0 Foreman, 11 Carpenters, 5 Ironworkers, 4 Laborers, 6 Finishers, 1 Surveyor, 1 Crane Operator, 1 Safety Manager • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (4) 1 Foreman, 3 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (1) 1 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Backfill at ductbank, plumbing excavation. Backfill and compact at wall A1. Helical continues with geopier installation on the East side of the site, the pull test yesterday evening was successful. • [02] Lockwood Remediation: Not onsite. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Install rebar cages and embeds at Core AB. Install forms for foundation wall at line C25.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detailing, all locations in Area C.
- [07] Armani Waterproofing: Waterproofing at line AT and A1
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing, toilet rooms below mezzanine.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Briefly onsite.

Photos:



Waterproofing at line A1.



Footing prep along line AD (Washington St.)



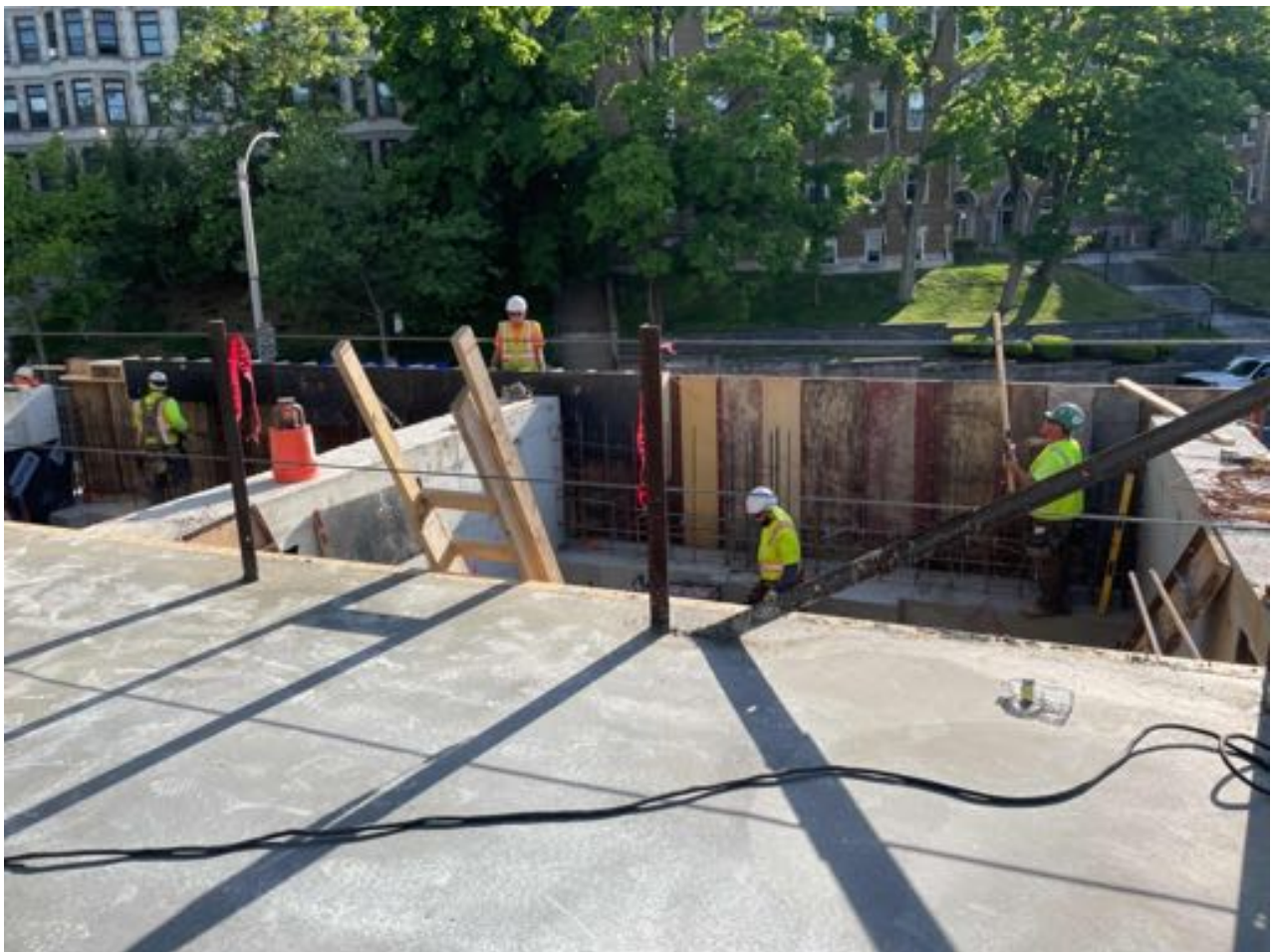
Slight crack in floor slab C1.



Geopier installation/layout in Area B.



Slab on grade at generator completed.



Forms along line C25.



Slab at C2 completed. Flatness test performed by UTS.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 228
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Michael Driscoll School – New Construction

Day/Date:	Thursday 05/26/2022	Weather:	Partly Sunny AM Sunny PM
Temperature:	52 degrees @ 7:00 a.m. 70 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	UTS for concrete pour, Core AB and wall at C25. Plumbing inspection for sanitary lines in Area A.		
Services:	McPhail on site to monitor geopier installation, removal of material to Saugus		
Meetings:	OAC, 9:00am; MEPFP Coord, 1:00pm		
Issues/Concerns:			
Deliveries:	Crushed stone; structural fill; 6000#, 4000# concrete		
Removals:	Excavated material, 2 trucks to Saugus		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (11) 2 Superintendent, 1 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 2 VDC Engineers, 1 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (14) 0 Superintendent, 1 Foreman, 2 Operators, 4 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 7 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (26) 1 Superintendent, 0 Foreman, 14 Carpenters, 5 Ironworkers, 4 Laborers, 0 Finishers, 0 Surveyor, 1 Crane Operator, 1 Safety Manager • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (4) 1 Foreman, 3 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (2) 2 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Backfill at ductbank, plumbing excavation. Backfill and compact at wall A1, stockpile crushed stone. Helical continues with geopier installation on the East side of the site. • [02] Lockwood Remediation: Not onsite. 			

- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Finalize embeds and forms at Core AB, wall at line C25 and place concrete.
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detailing, all locations in Area C. Weld clips at Area A.
- [07] Armani Waterproofing: Waterproofing at line A1
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing, toilet rooms below mezzanine.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:

Waterproofing and backfill at line A1.



Forms at line C25



Geopiers ongoing.



Excavation for footings at geopiers, line AD.



Stockpiling stone for Area A.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 229
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Michael Driscoll School – New Construction

Day/Date:	Friday 05/27/2022	Weather:	Partly Sunny AM Cloudy PM
Temperature:	67 degrees @ 7:00 a.m. 77 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	None observed		
Services:	McPhail on site to monitor geopier installation.		
Meetings:	Steel review, 9:00am		
Issues/Concerns:			
Deliveries:	Structural fill		
Removals:	None observed		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		
Workforce:			
<ul style="list-style-type: none"> • [01] Gilbane: (6) 2 Superintendents, 1 Project Manager, 1 Mgr of Engineering, 0 MEP Coordinator, 0 Project Engineer, 0 VDC Engineers, 0 Safety Officer, 1 Medic, 1 Intern • [02] J. Derenzo: (14) 0 Superintendent, 1 Foreman, 2 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 1 Surveyor, 7 Helical Drilling • [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer • [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer • [02] Maltby and Company: (0) • [02] Visa Sign: (0) • [03] Marguerite: (26) 1 Superintendent, 0 Foreman, 14 Carpenters, 5 Ironworkers, 4 Laborers, 0 Finishers, 0 Surveyor, 1 Crane Operator, 1 Safety Manager • [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer • [05] GP East Steel: (4) 1 Foreman, 3 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders • [07] Armani Waterproofing: (0) 0 Installers • [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer • [08] Salem Glass: (0) 0 Foreman, 0 Installers • [06, 09] Central Ceilings: (0) 0 Foreman, 0 Carpenter • [22] PJ Kennedy: (2) 1 Foreman, 1 Journeyman • [23] Apex HVAC: (0) 0 Foreman • [26] Wayne J. Griffin Electric: (0) 0 Foreman, 0 Journeyman 			
General Observations:			
<ul style="list-style-type: none"> • [01] Gilbane – On-site supervision managing the work of subcontractors. • [02] J. Derenzo: Excavation at line AD for footings; backfill at line A1. Helical continues with geopier installation on the East side of the site. • [02] Lockwood Remediation: Not onsite. 			

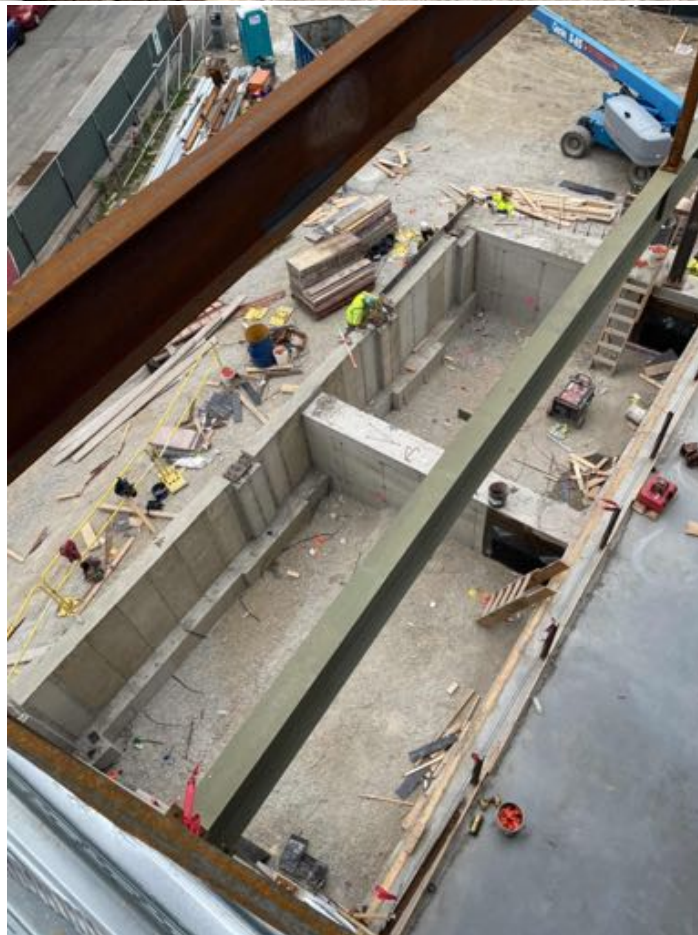
- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Raise forms at Core AB, strip forms at C25, rebar cages for Core AB. ½ day
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Detailing, all locations in Area C. Weld clips at Area A.
- [07] Armani Waterproofing: Not onsite
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Not onsite.
- [06, 09] Central Ceilings: Not onsite.
- [22] PJ Kennedy: Underground plumbing.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Not onsite.

Photos:





Rebar at footings along line AD.



Forms stripped, installing base plates along line C25.



Clips welded along line AG.



Raising forms at Core AB.



Backfill and compaction along A1.

Michael Driscoll School, Brookline, MA	OPM FIELD REPORT # 230
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Michael Driscoll School – New Construction

Day/Date:	Tuesday 05/31/2022	Weather:	Cloudy AM Sunny PM
Temperature:	74 degrees @ 7:00 a.m. 63 degrees @ 3:00 p.m.	Site Representative:	Andy Deschenes
Visitors:	None observed		
Inspections:	None observed		
Services:	McPhail on site to monitor geopier installation, monitor excavated material being removed from site.		
Meetings:	MEPFP Coord, 1:00pm		
Issues/Concerns:			
Deliveries:	Crushed stone, LGMF, Air Handling Units (AHU's), generator fuel tank		
Removals:	Excavated material; forms and materials from North side.		
Equipment:	(8) Portable Toilets, (2) Handwash Stations, (2) Lulls; (2) Scissor Lifts, 100T Crane for Marguerite, Komatsu Excavator, (1) mini excavator, front end loader, (6) boom lifts, (1) Bobcat, (1) 300G John Deere excavator, 100T crane for AHU and fuel tank picks (one day).		
On site Storage/Dumpsters:	(1) J. Derenzo Conex box, (1) Republic Services 30 cy dumpster, (2) Marguerite Conex, (1) PJK Conex, (1) GP East trailer, (1) GP East Conex		

Workforce:

- [01] Gilbane: (6) 1 Superintendent, 1 Project Manager, 1 Mgr of Engineering, 1 MEP Coordinator, 1 Project Engineer, 0 VDC Engineers, 0 Safety Officer, 1 Medic, 1 Intern
- [02] J. Derenzo: (13) 1 Superintendent, 0 Foreman, 2 Operators, 3 Laborers, 0 Safety Officer, 0 Engineer, 0 Surveyor, 7 Helical Drilling
- [02] Lockwood Remediation: (0) 0 Foreman, 0 Laborer
- [02] HUB Foundations: (0) 0 Superintendent, 0 Foreman, 0 Driller, 0 Laborer
- [02] Maltby and Company: (0)
- [02] Visa Sign: (0)
- [03] Marguerite: (27) 1 Superintendent, 0 Foreman, 13 Carpenters, 5 Ironworkers, 5 Laborers, 0 Finishers, 1 Surveyor, 1 Crane Operator, 1 Safety Manager
- [04] Fernandes Masonry: (0) 0 Superintendent, 0 Mason, 0 Laborer
- [05] GP East Steel: (4) 1 Foreman, 3 Ironworkers, 0 Crane Operator, 0 Oiler, 0 stud welders
- [07] Armani Waterproofing: (0) 0 Installers
- [07] JD Rivet Roofing: (0) 0 Foreman, 0 Roofer
- [08] Salem Glass: (2) 1 Foreman, 1 Installer
- [06, 09] Central Ceilings: (3) 0 Foreman, 2 Carpenters, 1 Laborer
- [22] PJ Kennedy: (9) 1 Foreman, 4 Journeymen, 4 Shaughnessy (crane operator and riggers)
- [23] Apex HVAC: (0) 0 Foreman
- [26] Wayne J. Griffin Electric: (2) 2 Foremen, 0 Journeyman (partial day)

General Observations:

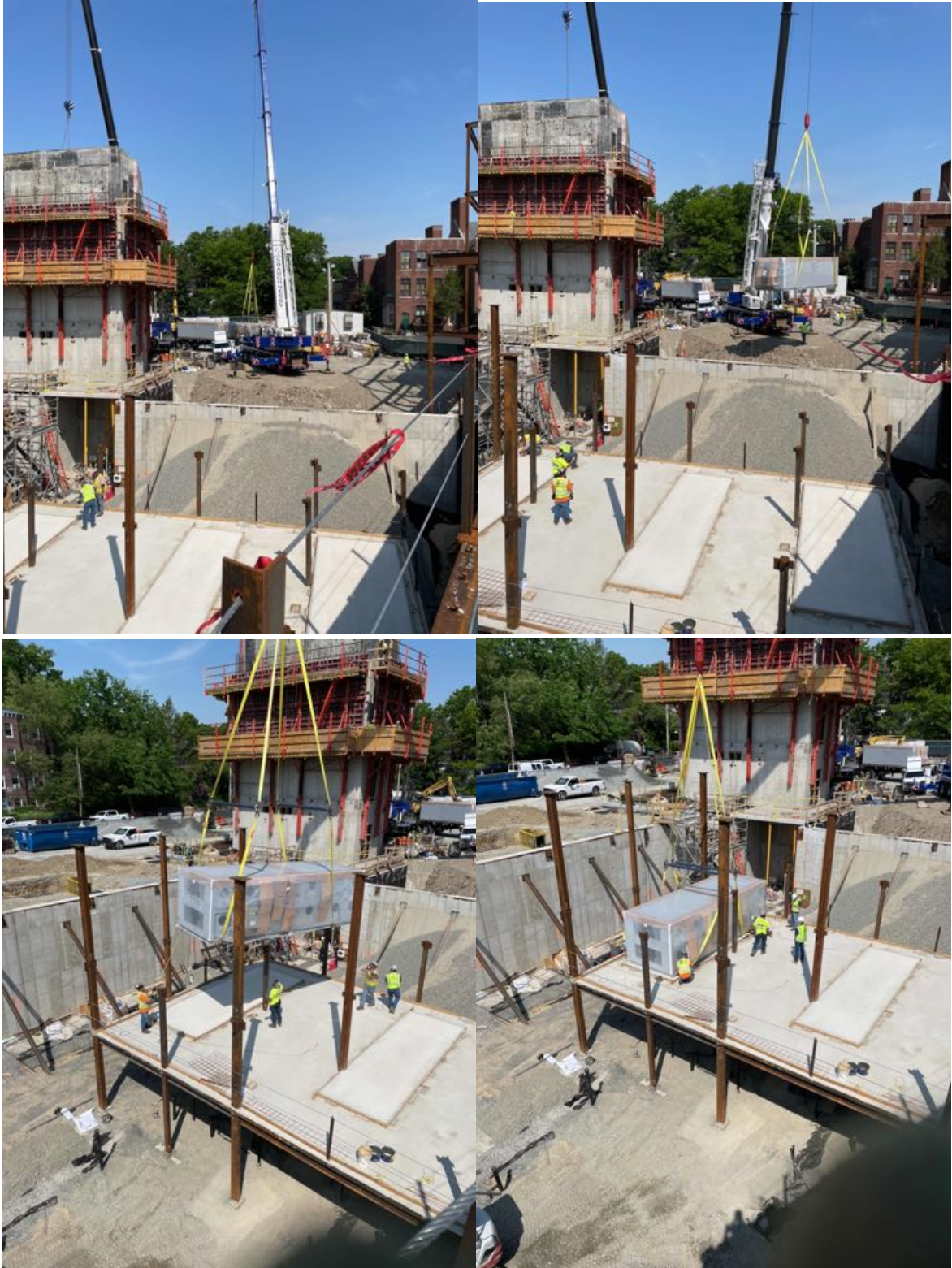
- [01] Gilbane – On-site supervision managing the work of subcontractors.
- [02] J. Derenzo: Excavation at Core B for mat slab; trucking offsite of material from line AD. Backfill plumbing. Helical continues to install geopiers on West side of site.

- [02] Lockwood Remediation: Not onsite.
- [02] HUB Foundations: Not onsite.
- [02] Maltby and Company: Not onsite.
- [02] Visa Sign: Not onsite.
- [03] Marguerite: Raise exterior forms at Core AB, remove forms, clean up North side
- [04] Fernandes Masonry: Not onsite.
- [05] GP East Steel: Weld clips at Area A.
- [07] Armani Waterproofing: Not onsite
- [07] JD Rivet Roofing: Not onsite
- [08] Salem Glass: Work on mock-up.
- [06, 09] Central Ceilings: Unloaded material, review layout.
- [22] PJ Kennedy: Underground plumbing, place AHU's on mechanical mezzanine.
- [23] Apex HVAC: Not onsite.
- [26] Wayne J. Griffin Electric: Review placement of tank at basement level.

Photos:



Air Handling Units (AHUs) arriving on site.



Crane pick of AHUs



AHUs in place on mechanical level.



Forms and rebar at line AD



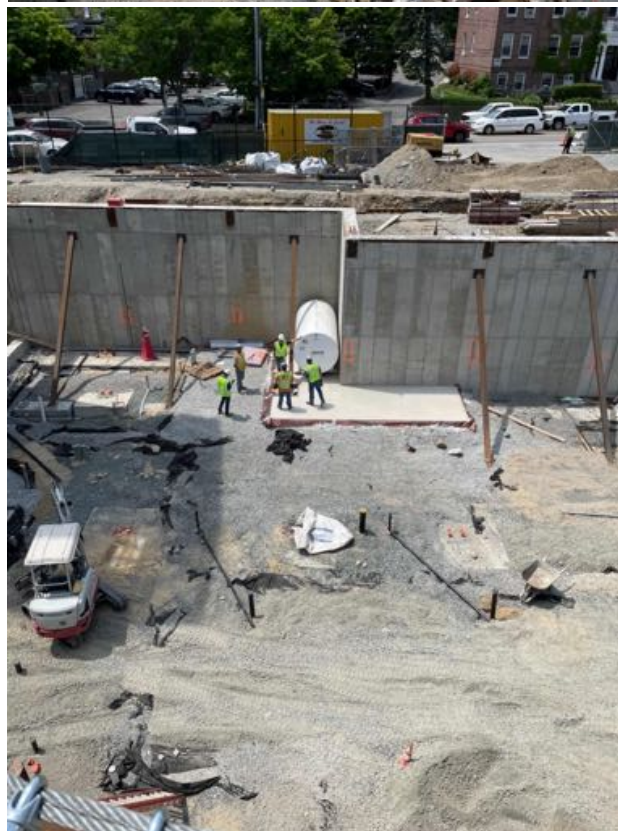
Raising forms at Core AB.



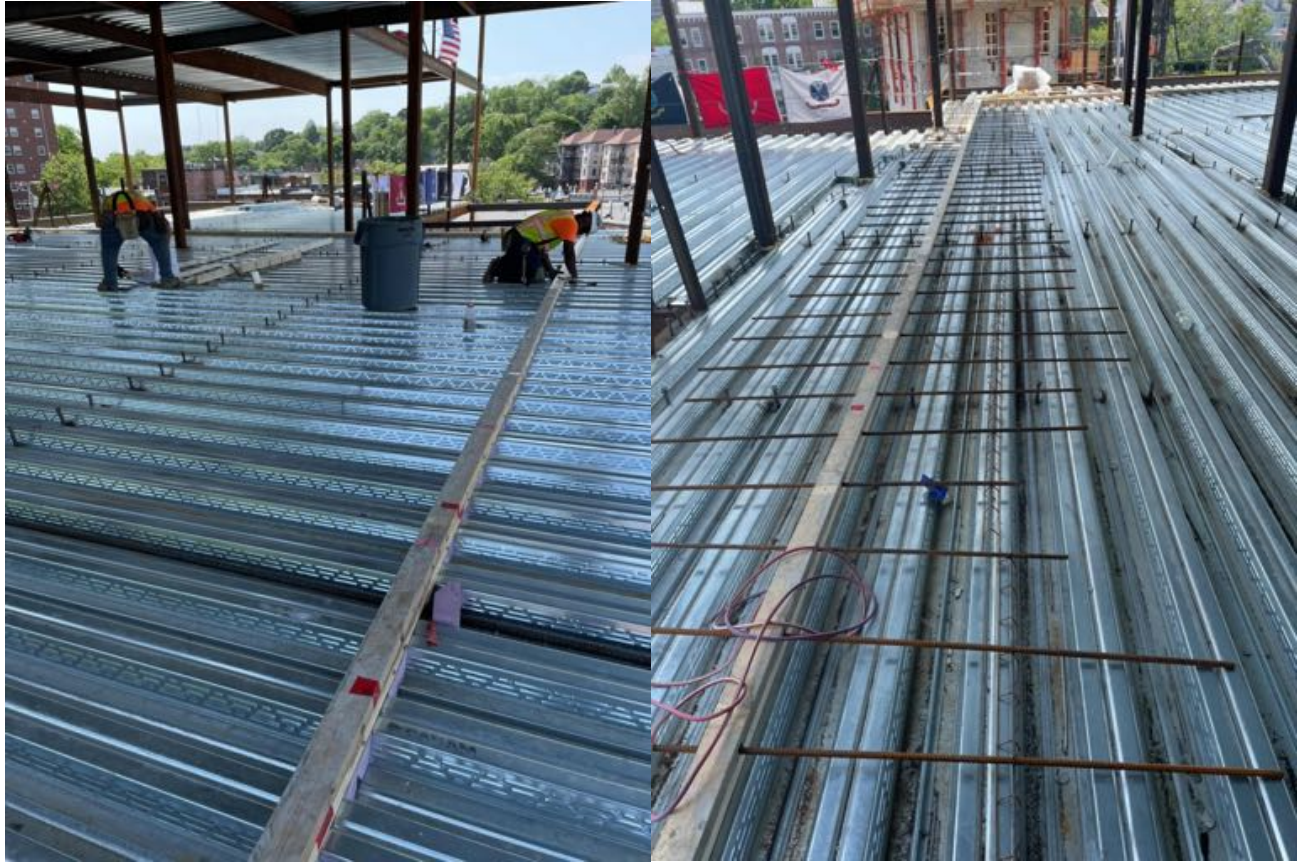
Excavation for mat slab at Core B



Roof edge at mock-up



Generator fuel tank



Bulkheads and rebar for decks 3A and 4A